



## Arlington Conservation Commission

**Date:** Thursday, January 19, 2023

**Time:** 7:00 PM

**Location:** Conducted by Remote Participation

Pursuant to State Legislation suspending certain provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the January 19, 2023, public meeting of the Arlington Conservation Commission shall be physically closed to the public to avoid group congregation. The meeting shall instead be held virtually using Zoom. Please register in advance for this meeting. Reference materials, instructions, and access information for this specific meeting will be available 48 hours prior to the meeting on the Commission's agenda and minutes page.

### Agenda

1. Administrative
  - a.
  - b.
2. Discussion
  - a. Water Bodies Working Group
  - b. 1021-1025 Massachusetts Ave. 40B Update
  - c. Arlington Wetlands Regulations Update
  - d. Park & Recreation Commission Liaison
  - e. Tree Committee Liaison
  - f. 2023 Schedule of Meetings
  - g. Enforcement: Arlington Catholic High School
3. Hearings

#### **Notice of Intent: 14-16 Edith Street (Continuation)**

Notice of Intent: 14-16 Edith Street (Continuation)

Documents: 14-16 Edith Street NOI Supplemental Materials

This public hearing will consider a Notice of Intent to re-build a 2-family dwelling and associated site appurtenances at 14-16 Edith Street, within Bordering Land Subject to Flooding and the outer portion of the 100-foot Buffer Zone to Bordering Vegetated Wetlands.

#### **Notice of Intent: Mystic Bridge (Continuation)**

Notice of Intent: Mystic Bridge (Continuation)  
Documents: Mystic Street Bridge Supplemental Materials

This public hearing will consider a Notice of Intent to reconstruct the Mystic Street Bridge at 0 Lot Mystic Street. Work is proposed within the Riverfront Area, Land Under Water, and Bank to Mill Brook, as well as Bordering Vegetated Wetland, and Land Subject to Flooding (Zone AE).

**Request for Determination of Applicability: 106-108 Varnum Street (Continuation)**

Request for Determination of Applicability: 106-108 Varnum Street (Continuation)  
Documents: 106-108 Varnum St RDA Submission Package, Opposition Letter

The Commission is expected to continue this hearing to the February 2, 2023 meeting. This public hearing will consider a Request for Determination of Applicability to pave a parking area in the rear of 106-108 Varnum Street within Bordering Land Subject to Flooding (Zone AE).



## Town of Arlington, Massachusetts

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### Correspondence Received

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	[ConComm]_Artificial_turf__questions_and_analysis.pdf	Artificial turf, questions and analysis
▢ Reference Material	[ConComm]_Opposition_to_the_planned_40B_project_at_1021-1025_Mass._Av..pdf	Opposition to the planned 40B project at 1021-1025 Mass. Ave.
▢ Reference Material	[ConComm]_please_keep_artificial_turf_out_of_our_town.pdf	Please keep artificial turf out of our town

**Subject:** [ConComm] Artificial turf, questions and analysis

**From:** Beth Melofchik <tankmadel@yahoo.com>

**Date:** 1/6/2023, 11:31 AM

**To:** "David Morgan" <DMorgan@town.arlington.ma.us>

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A colleague shared the video below, presented for your information. Beth

Citizens Campaign for the Environment, CCE and Public Employees for Environmental Responsibility, PEER

Below is the link to informative webinar re: artificial turf, AT.

You may wish to watch it and take notes, as I did. Upon careful analysis, presented in this video, there appears to be no benefits for a community to install artificial turf. No benefits over natural turf managed organically.

Not cost, not water use, not pollutants, not play time.

Kyla Bennet, Easton MA

Dr. Sarah Evans, ICAHN Institute Eposomic Research, School of Medicine, Mt. Sinai

Monica Mercola, PEER, complaint to FTC

Homero Harari, PEER, heat island studies

AT sheds microplastics which may contain PFAS in addition to other pollutants.

AT does not absorb carbon or produce oxygen. Grass does absorb carbon and release oxygen.

AT creates new heat islands.

Minute 29, 31 in the video presents the warnings for safe play on artificial turf as posted in Westport CT.

There is no recycling facility for artificial turf in the US. There are false claims and deceptive marketing re recycling.

Monica Mercola, PEER, speaks to this.

Minute 39 shows cost analysis.

After watching this video questions come to mind. Namely what plans does Park and Rec have to address concerns with their existing artificial turf fields in Arlington? How old

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are the fields? How does Park and Rec keep the student athletes and all users safe from pollutant exposure? Is this protocol in the draft Land Management Plan?

[The Problem with Artificial Turf - YouTube](#)



The Problem with Artificial Turf

**Subject:** [ConComm] Opposition to the planned 40B project at 1021-1025 Mass. Av.  
**From:** Patricia Worden <pbworden@gmail.com>  
**Date:** 1/10/2023, 4:06 PM  
**To:** "David Morgan" <DMorgan@town.arlington.ma.us>  
**CC:** concomm@town.arlington.ma.us

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Dear Mr. Morgan,  
Kindly distribute this email to members of the Conservation Commission.  
Thank you,  
Patricia Worden

Dear Members of the Conservation Commission,

We should protect Arlington's homes from demolition, clear-cutting of trees, dense construction of massive buildings with climate-damaging energy systems that could come to any area. That is likely to happen if the Arlington Select Board's plan to support a developer's request to build a 40B project at 1021-1025 Massachusetts Avenue gains approval from the Zoning Board of Appeals (ZBA). If approved, this project would set precedent for such bad 40B projects anywhere in our neighborhoods – even next door to you.

We can help protect our homes by asking the ZBA to **REJECT** the proposed 40B project at 1021-1025 Mass. Av. We can send this request to deny approval or any comments on the project soon to: [zba@arlington.ma.us](mailto:zba@arlington.ma.us)

In addition we can attend the Zoom hearing on the project on Thursday, January 12 by using the link provided on the agenda - url below (which I downloaded from the ZBA's Agenda and Minutes page) and make a brief statement registering disapproval when the Chair invites public comment. Essentially it would be best to JUST SAY NO to this project

<https://arlington.novusagenda.com/agendapublic/MeetingView.aspx?MeetingID=1748&MinutesMeetingID=-1&doctype=Agenda>

Your Home and Arlington's Housing

Arlington has two chief providers of truly affordable housing which can enable us to avoid homelessness for disadvantaged and very low income residents. These are the **Arlington Housing Authority** and the **Housing Corporation of Arlington**. It is through these agencies that Arlington should be working to provide affordable housing. (Other notable provision of housing for very low income residents is enabled by the **Inclusionary Zoning Bylaw** initiated and voted by members of Arlington Town Meeting - Section 8.2 of the Arlington Zoning Bylaw.) It is not appropriate for our Select Board and Planning Department to facilitate the 40B project at 1021-1025 Massachusetts Avenue. They would enable favored developers/landowners to enrich themselves by opposing Arlington's sustainability and environmental goals when providing many market rate and luxury units while providing only token (barely) affordable units and zero affordable units for very low income residents:

See below P. Worden's January comments on this 40B project:

**Patricia B. Worden, Ph.D.**

Re: Testimony Opposing 40B Project at 1021-1025 Massachusetts Avenue

To: Zoning Board of Appeals

Dear Chairman Klein and Members of the Board,

**A Procedurally Unacceptable Process**

**The process for approval of this 40B project has been tainted from the beginning. The public was kept in the dark except for those Town Committees that the Select Board (SB) needed to secure feedback from to feed to MassHousing for their approval— those were the Arlington Redevelopment Board and the Conservation Commission. They did not notify the Arlington Historical Commission that there is a listed historical property which was planned to be destroyed by the developer. The Conservation Commission held quiet working groups with the developer. The SB Chair had plenty of opportunity to inform and request feedback from the community during MassHousing's allowed period for public comment because that period was during Town Meeting at which some SB members are always present. The SB Chair made many public statements during Town Meeting but never once requested input from Town Meeting Members and their**

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constituents on this 40B project. Nor did he provide information about the project to the 252 TMMs and their large television audience. As a result MassHousing was kept unaware of any possible constructive suggestions or negative opinions of Arlington residents. After TM completed its many weeks and hours of Town Meeting the SB sent a letter to MassHousing endorsing the 40B project without a single approval of members of the general public except members of the ARB. That is very important because if approved by you, the ZBA, for a Comprehensive Permit then that would be precedent-setting. It would enable future 40B projects to ignore the recent Town and State efforts to reduce damage to the Town's climate and sustainability control measures as described in my October 18,2022 written testimony:

<https://www.arlingtonma.gov/home/showpublisheddocument/62965/638030961852330000>

The outstanding disturbing fact is that the SB chose to recommend this 40B project despite its planned damage to climate and energy control, made clear in its specifications. Unacceptable aspects include the large loss of embodied energy in the destruction of two buildings, the unhealthy air pollution caused by demolition, the energy and environmental costs of new construction of this huge building project, its irresponsible fossil fuel heating system, and its maintenance. if the SB members support projects such as this they are contributing, even if relatively-speaking only slightly, to future humanitarian crises including possible destruction and death from public health scourges of air pollution resulting from wildfires; increase in insect-borne tropical diseases; desertification and water loss; agricultural disruption and famine which is drought-related; damage from burning of fossil fuels; hurricanes and floods which are increasingly violent; inundation of coastal areas causing mass migration of people and animals; extinctions; and direct deaths from extreme heat. Do they know or do they care?

**In their desire to oblige the developers by promoting this project what importance did the SB members give to the welfare of the community, to support of climate and energy goals and to provision of housing for those of very low income for whom there is zero affordable housing in this proposed 40B project?**

**As mentioned above, the SB did not even inform the Arlington Historical Commission that the developer planned to demolish a historic house and that he had lied about it in his application.**

**Making matters worse was the false and misleading information in the SB's endorsement letter. For example it was indicated that the site was in a B2 District and so the project would be compatible with that. But that is not true. The site of the proposed 40B is actually in the B1 District which is not designed for huge apartment buildings and is incompatible with that small area and its historic low rise buildings.**

**Clearly the ZBA is the only Town Board standing which can prevent the award of a Comprehensive permit for this disastrous 40B project. Obviously this is very challenging for you since you are all, I believe, appointees of the SB. All we can ask is that you put the welfare of the community as of prime importance in your decision. I ask you to vote NO on the 40B project at 1021-1025 MASSACHUSETTS AVENUE Thank you**

**Patricia B. Worden, Ph.D.**

**Town Meeting Member**

**Former Chair, Arlington Housing Authority, Arlington School Committee**

**Former Charter Member, Arlington Human Rights Commission**

**DECEMBER TESTIMONY:**

**<https://bit.ly/Dec18-40B-proposal-102Mass>**

**Subject:** [ConComm] please keep artificial turf out of our town

**From:** Maggie Benthall <maggie.benthall@gmail.com>

**Date:** 1/6/2023, 10:52 AM

**To:** "David Morgan" <DMorgan@town.arlington.ma.us>

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To the Arlington Conservation Commission,

I heard late in the day yesterday that you would be discussing a proposal to allow artificial turf as part of the town's Land Management Plan.

I ask you to please reject this proposal.

Artificial turf is plastic laced with toxins. There are numerous, numerous reports of a variety of substances found in artificial turf, and other synthetic ground cover, that pose risks to human and animal health. One kind of turf additive of specific concern, for me, are PFAS, which are substances known to be so toxic that \*no amount of exposure\* is considered safe, yet which are not yet properly regulated. They leach from various products into the soil and water, and onto the skin of people who come into contact with them, and into the mouths of children who lick those fingers. They are known as "forever chemicals" because they never break down, so the "small" doses from a variety of sources are accumulating in our environment, our water, our food systems, and our bodies. They cause cancer and reproductive problems, even in tiny amounts.

Using artificial turf pollutes our environment with dangerous substances. Please protect the human and other life in our town by opposing artificial turf whenever and wherever possible.

Thank you,  
Maggie Benthall



**TOWN OF ARLINGTON**  
MASSACHUSETTS  
**CONSERVATION COMMISSION**

**FILING DEADLINES FOR 2023**

Meeting Date	Application Deadline	Supplemental Information Deadline <sup>1</sup>	Legal Notices Published	Agenda Published
<i>Thursdays, 7:00pm</i>	<i>Wednesdays, 12pm</i>		<i>Thursdays</i>	<i>Tuesdays</i>
January 5, 2023	12/21/2022	12/28/2022	12/29/2022	1/3/2023
January 19, 2023	1/4/2023	1/11/2023	1/12/2023	1/17/2023
February 2, 2023	1/18/2023	1/25/2023	1/26/2023	1/31/2023
February 16, 2023	2/1/2023	2/8/2023	2/9/2023	2/14/2023
March 2, 2023	2/15/2023	2/22/2023	2/23/2023	2/28/2023
March 16, 2023	3/1/2023	3/8/2023	3/9/2023	3/14/2023
April 13, 2023	3/22/2023	3/29/2023	3/30/2023	4/4/2023
April 27, 2023	4/12/2023	4/19/2023	4/20/2023	4/25/2023
May 4, 2023	4/19/2023	4/26/2023	4/27/2023	5/2/2023
May 18, 2023	5/3/2023	5/10/2023	5/11/2023	5/16/2023
June 1, 2023	5/17/2023	5/24/2023	5/25/2023	5/30/2023
June 15, 2023	5/31/2023	6/7/2023	6/8/2023	6/13/2023
July 6, 2023	6/21/2023	6/28/2023	6/29/2023	7/4/2023
July 20, 2023	7/5/2023	7/12/2023	7/13/2023	7/18/2023
August 3, 2023	7/19/2023	7/26/2023	7/27/2023	8/1/2023
August 17, 2023	8/2/2023	8/9/2023	8/10/2023	8/15/2023
September 7, 2023	8/23/2023	8/30/2023	8/31/2023	9/5/2023
September 21, 2023	9/6/2023	9/13/2023	9/14/2023	9/19/2023
October 5, 2023	9/20/2023	9/27/2023	9/28/2023	10/3/2023
October 19, 2023	10/4/2023	10/11/2023	10/12/2023	10/17/2023
November 2, 2023	10/18/2023	10/25/2023	10/26/2023	10/31/2023
November 16, 2023	11/1/2023	11/8/2023	11/9/2023	11/14/2023
November 30, 2023	11/15/2023	11/22/2022	11/23/2022	11/28/2023
December 14, 2023	11/29/2023	12/6/2023	12/7/2023	12/12/2023
December 21, 2023	12/6/2023	12/13/2023	12/14/2023	12/19/2023

<sup>1</sup> Supplemental information deadlines are for hearings continued from the previous meeting.



## Town of Arlington, Massachusetts

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**Enforcement:** Arlington Catholic High School

**Summary:**

Enforcement: Arlington Catholic High School

**ATTACHMENTS:**

	Type	File Name	Description
▢	Reference Material	Arlington_Catholic_Synthetic_Turf_Field_12222022.pdf	Notice of Violation: Arlington Catholic Synthetic Turf Field





TOWN OF ARLINGTON  
MASSACHUSETTS  
CONSERVATION COMMISSION

December 22, 2022

Mr. Daniel Shine  
Department of Athletics  
Arlington Catholic High School  
16 Medford Street  
Arlington, MA 02474

RE: Arlington Catholic Turf Field (0 Mystic Street, Map 63 Block 4 Lot 2): crumb rubber infill migration towards wetlands resource areas

Mr. Shine,  
The Conservation Commission has observed crumb rubber infill from the synthetic turf field migrating towards Mill Brook in the adjacent Cooke's Hollow Park, southeast of the field.

The Chair of the Conservation Commission conducted an on-site inspection of the resource area on Wednesday, December 22, 2022. The Commission was informed of the migrating crumb rubber by an Arlington resident in an email, sent to the Commission and to the Arlington Catholic Athletic Department on November 30, 2022. The site visit confirmed the deposit of crumb rubber adjacent to Cooke's Hollow, close to and within the 100-ft wetland buffer zone. The southeastern corner of the field is within the 100-foot wetlands buffer zone of Mill Brook, an area under the Commission's jurisdiction.

The Commission kindly requests that a representative of Arlington Catholic High School attend the Conservation Commission's virtual meeting on Thursday, January 19, 2023, at 7:00 PM to discuss the environmental risk of the migrating crumb rubber and possible measures to prevent additional unpermitted alteration of the resource areas.

Additionally, per conditions #12 and #43 of the Order of Conditions that permitted construction of the field, Arlington Catholic High School is required to request a Certificate of Compliance (WPA Form 8A) from the Conservation Commission. As of the date of this letter, the Commission has no record of a Certificate of Compliance being issued.

You will remember that this matter was initially raised in March 2021. This letter is the Commission's second attempt to resolve these issues in good faith. Please do not hesitate to contact the Conservation Commission with any questions regarding this letter.

Sincerely,

David Morgan  
Environmental Planner & Conservation Agent, Town of Arlington  
[dmorgan@town.arlington.ma.us](mailto:dmorgan@town.arlington.ma.us) | (781) 316-3012

Cc: Father Marc Bishop, Head of School, Arlington Catholic High School and Saint Agnes School  
John Graceffa, Principal, Arlington Catholic High School



Photo 1. Map of the synthetic turf field in relation to the 100-ft wetlands buffer zone. The 100-ft wetlands buffer is delineated by green shading in the southeastern corner of the field.





Photo 2. View of resource area facing Cooke's Hollow and Mill Brook. The black coloring on the ground is crumb rubber infill particles.





Photo 3. Close-up of crumb rubber in resource area.





Photo 4. Close-up of crumb rubber in resource area.



## Town of Arlington, Massachusetts

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### Notice of Intent: 14-16 Edith Street (Continuation)

#### Summary:

Notice of Intent: 14-16 Edith Street (Continuation)

Documents: 14-16 Edith Street NOI Supplemental Materials

This public hearing will consider a Notice of Intent to re-build a 2-family dwelling and associated site appurtenances at 14-16 Edith Street, within Bordering Land Subject to Flooding and the outer portion of the 100-foot Buffer Zone to Bordering Vegetated Wetlands.

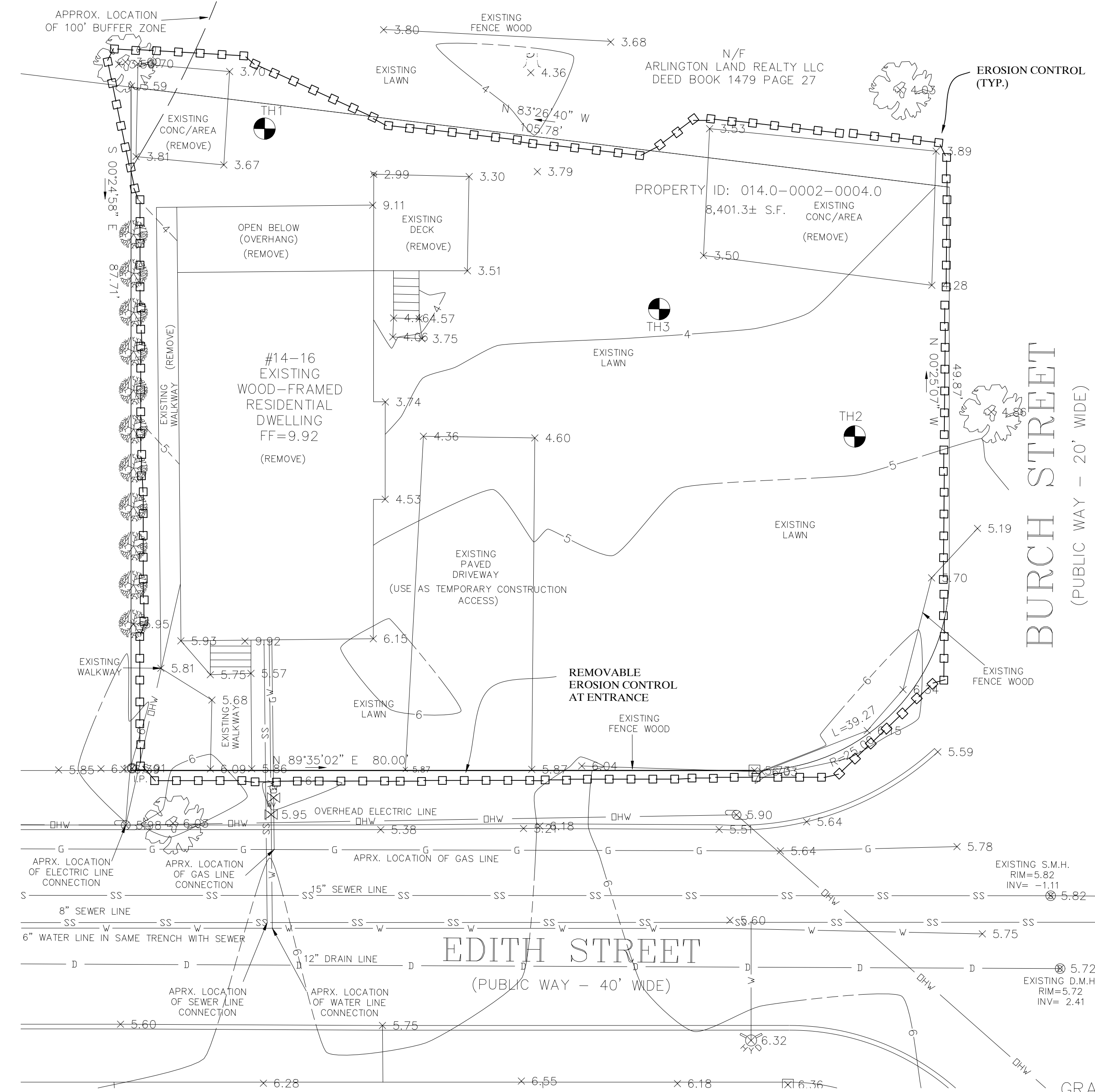
#### ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	14- 16_Edith_Street_NOI_Supplemental_Materials.pdf	14-16 Edith Street NOI Supplemental Materials



LEGEND

TP	SOIL TEST PIT
R	RIM
I	INVERT
98	PROP. CONTOUR
+99.7	PROP. SPOT EL.
C.O.	PROP. CLEAN OUT



EXISTING SITE PLAN

SCALE: 1" = 10'

SOIL TEST DATA

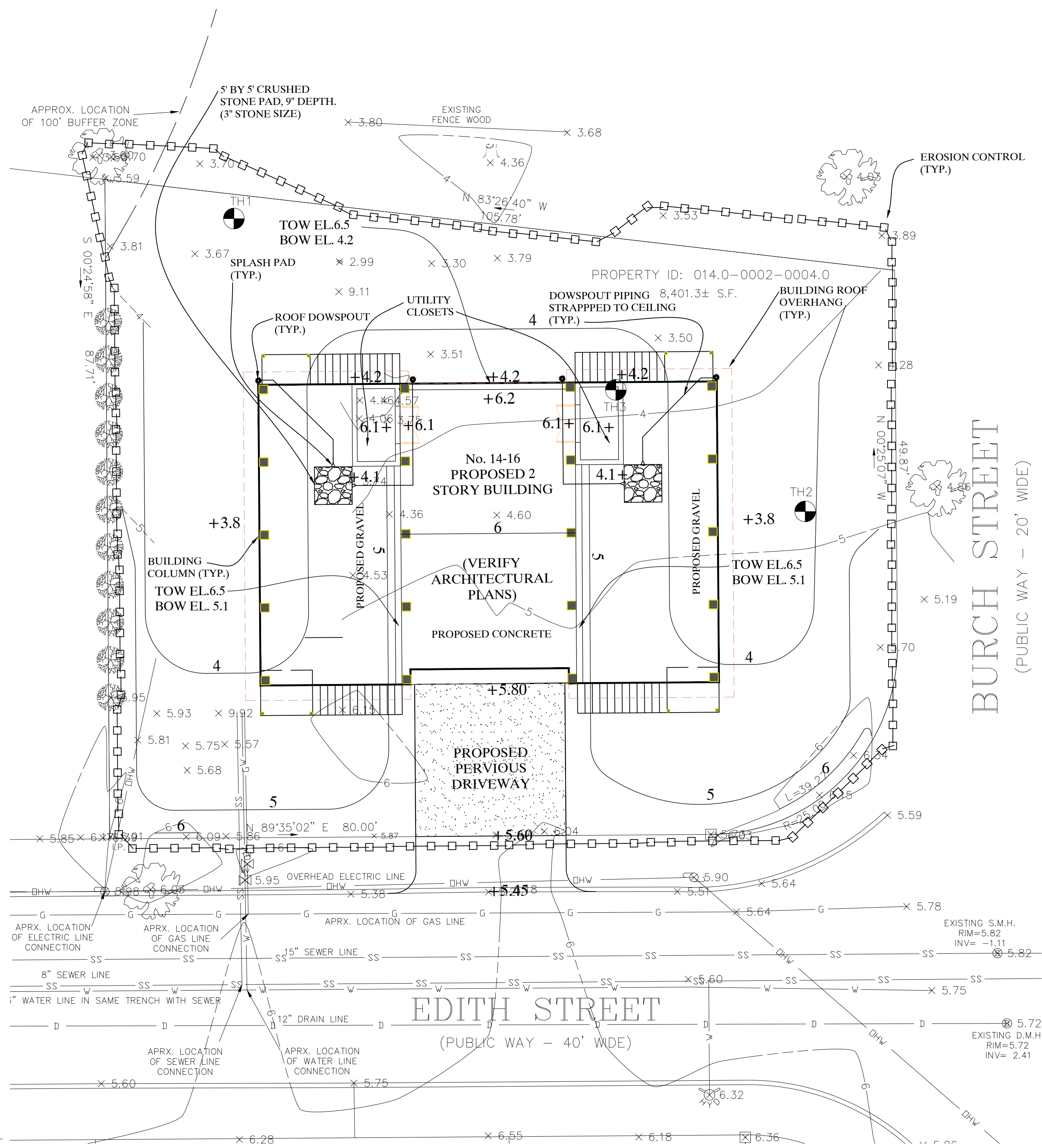
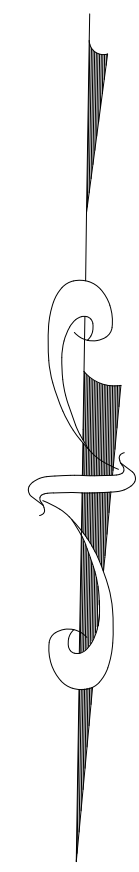
Performed by Gala Simon Associates, Inc., on 7/12/22

TH1 (EL. 3.5)						TH3 (EL. 3.9)							
Horizon	Depth	Color	Texture	Mottles	Other	Elevation	Horizon	Depth	Color	Texture	Mottles	Other	Elevation
A	30"	N/A	FILL	-	-	1.0	A	12"	N/A	FILL	-	-	2.9
B	38"	7.5YR5/3	LS	-	-	0.3	B	50"	7.5YR6/4	FS	-	-	-0.3
C	76"	10YR7/1	FS	-	-	-2.8	C	104"	Gley2 6/10B M/F S	-	-	-	-4.8

WATER @52" EL.-0.8, MOTTILING @38"  
ESHCW EL.0.3 (TOP OF C HORIZON)

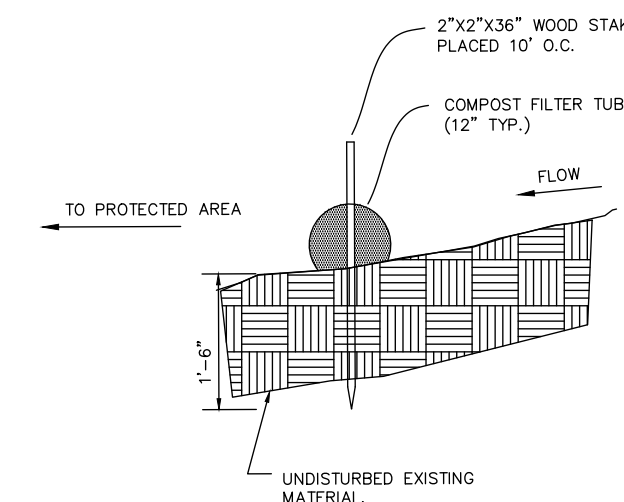
TH2 (EL. 4.8)						
Horizon	Depth	Color	Texture	Mottles	Other	Elevation
A	10"	N/A	FILL	-	-	4.0
B	46"	7.5YR6/4	FS	-	-	1.0
C	126"	Gley2 6/10B M/F S	-	-	-	-5.7

WATER @96" EL.-3.2, MOTTILING @46"  
ESHCW EL.1.0 (TOP OF C HORIZON)

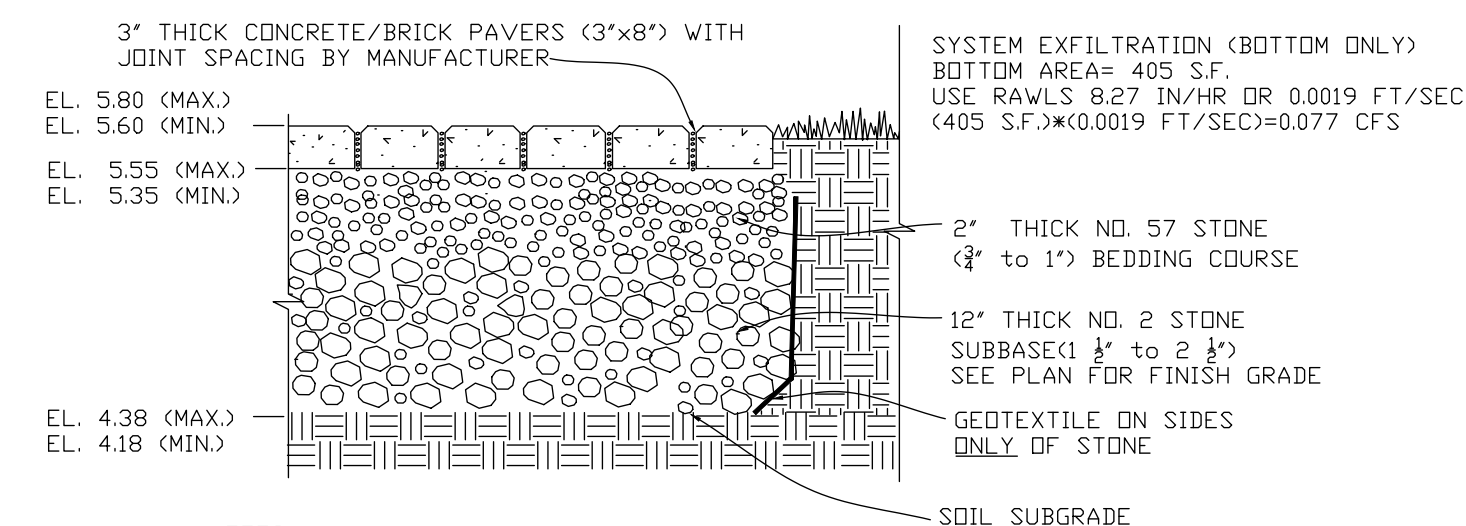


PROPOSED SITE PLAN

SCALE: 1" = 10'



1 EROSION CONTROL  
SCALE: NTS



2 CONCRETE/BRICK PERVIOUS PAVERS  
SCALE: NTS  
(DRIVEWAY)

Gala Simon  
Associates Inc.  
394 LOWELL STREET, SUITE 18  
LEXINGTON, MA 02420  
Tel: (781) 676-2962

Gala Simon Associates  
**GSA**  
Civil Engineers

DRAINAGE PLAN  
ALTERNATIVE 2

14-16 EDITH STREET  
ARLINGTON, MASSACHUSETTS

Job No. 2220	Date: 10/18/22
Drawn By: TG	Scale: AS SHOWN
Rev#	Date: Description:
1	12.12.22 per CC meet



C-0



GENERAL NOTES

- EXISTING CONDITIONS SURVEY INFORMATION OBTAINED FROM SPRUHAN ENGINEERING, P.C., NEWTON, MA. OWNER/CLIENT ASSUMES ALL RESPONSIBILITY FOR SOURCES AND AUTHORIZATION TO USE ELECTRONIC AND RECORD FILES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON THE GROUND AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION PRIOR TO CONSTRUCTION.
- ALL AREAS OUTSIDE OF THE LIMIT OF WORK LINES SHALL NOT BE DISTURBED IN ANY MANNER BY THE CONTRACT OPERATIONS. THE CONTRACTOR SHALL KEEP OUT OF THESE AREAS AND PRESERVE THEIR EXISTING CHARACTER.
- INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION FOR APPROVAL BY THE DESIGN ENGINEER. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE SMOOTH TRANSITION AT CHANGES IN GRADE EXCEPT AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITY LINES; ACTIVE OR NOT, AND SHALL MAINTAIN A CLOSE AND CONSTANT CONTACT WITH ALL UTILITY COMPANIES INVOLVED. CALL DIG-SAFE 888-344-7233. THE TOWN OF ARLINGTON IS NOT A MEMBER OF DIG-SAFE. WHEN ACTIVITIES REQUIRE A DIG-SAFE MARKOUT, THE TOWN OF ARLINGTON SHALL BE CONTACTED AT 781-316-3310 TO REQUEST A MARKOUT.
- ALL ELEVATIONS ARE REFERENCED TO NAVD88.
- CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PERMITTING, AND LICENSES ISSUED AT THE FEDERAL, STATE AND LOCAL AGENCIES.
- CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE TOWN OF ARLINGTON OFFICIALS.
- ENGINEER IS TO BE CONTACTED BY CONTRACTOR TO PERFORM AS BUILT MEASUREMENTS.
- OWNER/DEVELOPER IS TO COMPLY WITH ALL OF MASSACHUSETTS DEP SITE DEVELOPMENT REGULATIONS.
- THE CONTRACTOR/OWNER SHALL ARRANGE FOR THE DESIGN ENGINEER TO DEVELOP AN AS-BUILT PLAN OF ALL IMPERVIOUS AREAS ON THE SITE FOR SUBMITTAL TO THE TOWN OF ARLINGTON ENGINEERING DIVISION.
- PROPOSED GRADING AND DOWNSPOUT OVERFLOWS SHALL NOT DIRECT RUNOFF TOWARDS ABUTTING PROPERTIES. RUNOFF SHOULD NOT BE DIRECTED ACROSS ADJACENT PROPERTY LINES.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT RUNOFF SEDIMENT FROM THE SITE COLLECTING ON THE SIDEWALK, ROADWAY, OR ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT OR PRODUCTS OF EROSION FROM THE RIGHT OF WAY WHEN NECESSARY AND COMPLETE PERIODIC SWEEPING OF THE STREETS.
- ADDITIONAL PERMITTING WILL BE REQUIRED THROUGH THE ARLINGTON ENGINEERING DIVISION FOR PROPOSED UTILITY CONNECTIONS, SIDEWALK WORK, AND CURB CUT WORK.

LAYOUT & GRADING NOTES

- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
- LOCATION OF EXISTING UTILITIES SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE INCURRED DURING CONSTRUCTION TO ANY UTILITY SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO REFER TO A SURVEYOR PLOT PLAN FOR ACCURATE OFFSETS TO TO PROPERTY LINE.

Filled Flood Storage			Compensatory Flood Storage			
El.	Area (s.f.)	Volume (c.f.)	El.	Area (s.f.)	Volume (c.f.)	Percent Increase
3.5	0	170	3.5	0	366	215%
4.0	682	788	4.0	1467	1748	221%
5.0	893	789	5.0	2030	1642	208%
6.0	684	427	6.0	1254	1225	286%
7.0	170		7.0	1197		

FLOOD FILL/COMP. CALCULATIONS

OPERATION & MAINTENANCE NOTES (PERVIOUS PAVERS)

CONTROL OF SEDIMENT IS IMPORTANT TO MAINTAIN THE PERMEABILITY OF PERVIOUS PAVERS. THE PERFORMANCE OF THE PAVERS SHALL BE VERIFIED BY THE IN-FIELD TEST METHODOLOGY DESCRIBED IN ASTM C-1701 UPON COMPLETION OF PAVING ACTIVITIES.

ENSURE PROPER OPERATION OF PERVIOUS PAVERS:

- KEEP SILT AND DEBRIS FROM ENTERING ONTO THE PERVIOUS PAVERS.
- PAVERS SHALL NOT BE SEALED UNDER ANY CIRCUMSTANCES.
- SAND OR OTHER ABRASIVES FOR SNOW OR ICE CONDITIONS SHALL NOT BE USED AS THEY REDUCE PERMEABILITY OF THE PAVERS.
- OBSERVE THE PAVR SURFACE FOR SIGNS OF SEDIMENT OR ORGANIC DEBRIS ACCUMULATION
- USE HIGH PERFORMANCE, REGENERATIVE AIR VACUUM EQUIPMENT TO CLEAN SURFACES. MECHANICAL BROOMS SHALL NOT BE USED.

SEMIANNUALLY INSPECTION FOR PROPER FUNCTIONING AND LOOK FOR:

- STANDING WATER ON PAVERS SURFACE.
- RUTS OR DEFORMATIONS IN PAVERS EXCEEDING ½ "
- SMALL RANDOM CRACKS SHOULD NOT BE SEALED.
- SURROUNDING VEGETATION IS TO BE WELL KEPT TO PREVENT SEDIMENTATION TO RUNOFF ONTO PAVERS.

SCHEDULED MAINTENANCE:

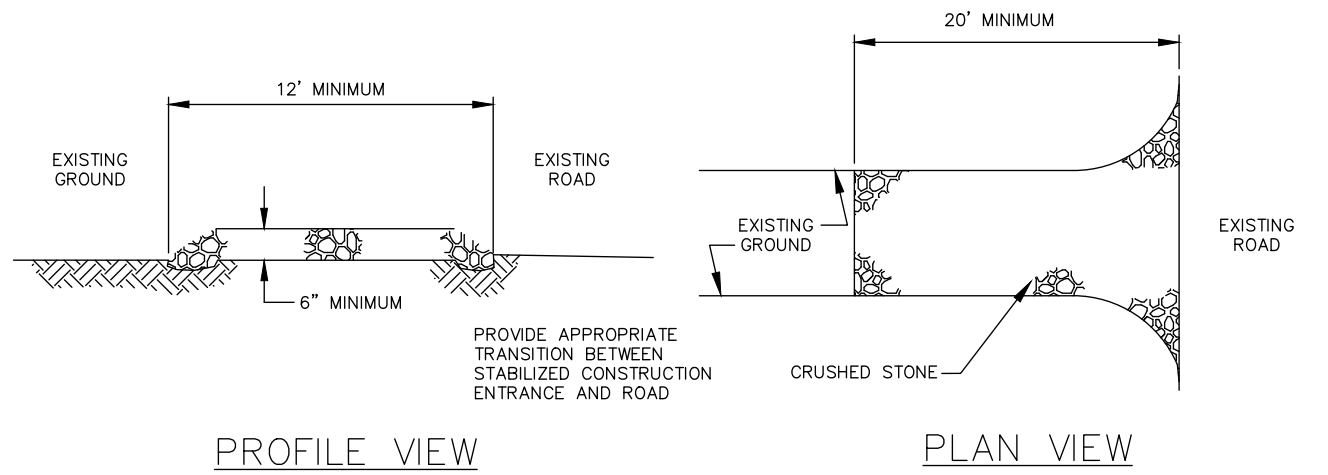
- INSPECT SURFACE OF PAVERS FOR EVIDENCE OF SEDIMENT DEPOSITION, ORGANIC DEBRIS, STAINING OR PONDING. IF ANY SIGN OF PONDING ARE EVIDENT, CONTACT A PROFESSIONAL PAVER CLEANER FOR HIGH PERFORMANCE VACUUMING.
- INSPECT THE INTEGRITY OF THE PAVERS. REPLACE OR REPAIR ANY AREAS THAT SHOW DETERIORATION, SUCH AS SLUMPING OR CRACKING.
- AT LEAST ONCE EVERY TWO YEARS THE PAVERS ARE TO BE VACUUMED BY A PROFESSIONAL PAVER CONTRACTOR.
- IN AREAS OF THE DRIVEWAY THAT HAVE BEEN DEEMED CLOGGED OR IMPERVIOUS, THE AREAS ARE TO BE VACUUMED AND THE PERFORMANCE OF THE PAVERS SHALL BE VERIFIED BY THE IN-FIELD TEST METHODOLOGY DESCRIBED IN ASTM C-1701.

IMPERVIOUS AREAS TABLE

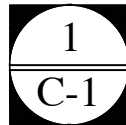
	EXISTING (SF)	PROPOSED (SF)
DWELLING	1,409	2,763
DRIVEWAY	653	—
WALKWAY	259	—
PATIOS	471	—
TOTAL	2,792	2,763

UTILITY NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ALL UTILITY COMPANIES OR AGENCIES PRIOR TO ANY EXCAVATION WORK. CALL DIGSAFE AT 1-888-344-7233.



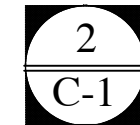
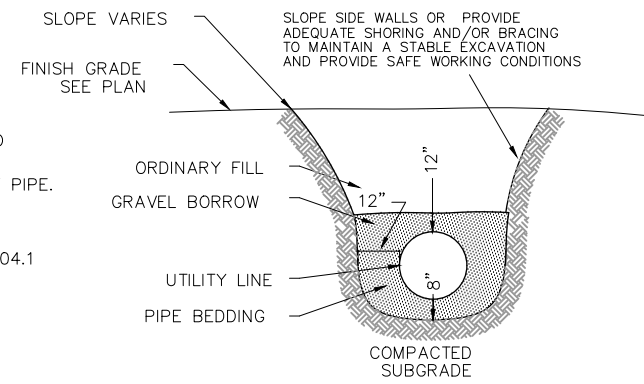
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING ROAD. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO EXISTING ROAD SHALL BE REMOVED IMMEDIATELY.



**1** STABILIZED CONSTRUCTION ENTRANCE  
SCALE: NTS

NOTES:

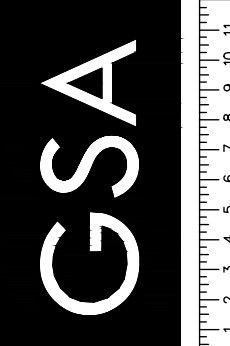
- 8" SAND CUSHION REQUIRED AT ALL LEDGE OR PIPE CROSSING
- NO STONE GREATER THAN 3" TO BE PLACED OVER PIPE TO FINISH GRADE
- NO STONE GREATER THAN 3" WITHIN 12" OF PIPE.
- GRAVEL BORROW SHALL COMPLY WITH MHD M1.03.0 TYPE C.
- PIPE BEDDING SHALL COMPLY WITH MHD M1.04.1



**2** TYP. UTILITY TRENCH  
SCALE: NTS

**Gala Simon Associates Inc.**  
394 LOWELL STREET, SUITE 18  
LEXINGTON, MA 02420  
Tel: (781) 676-2962

Gala Simon Associates



Civil Engineers

DRAINAGE PLAN  
ALTERNATIVE 2

14-16 EDITH STREET  
ARLINGTON, MASSACHUSETTS

Job No. 2220	Date: 10/18/22
Drawn By: TG	Scale: AS SHOWN
Rev#	Date: Description:
1	12.12.22 per CC meet



C-1





CONTRACTOR TO VERIFY ALL DIMENSIONS  
AND SETBACKS PRIOR TO CONSTRUCTION

RENDERINGS HAVE BEEN PROVIDED FOR  
DESIGN DISCUSSION ONLY. SEE  
DRAWINGS FROM ALL TRADES FOR  
COMPLETE SCOPE OF WORK. FINISHES,  
PLANTING, ETC. ARE APPROXIMATE.

For Review  
NOT FOR  
CONSTRUCTION  
December 9, 2022

**PAUL GIRELLO  
ARCHITECT, LLC**  
ARCHITECTURE | PLANNING | DESIGN  
1 Station Street - Braintree, MA 02184  
email: info@paulgirello.com  
tel: 781.205.9283

PROJECT:  
**14-16 Edith Street**  
Bring Us Deals 14-16 Edith Street, LLC  
C/O Bring Us Deals 14-16 Edith Street, LLC  
377 Somerville Avenue  
Somerville, MA

PROPOSED RENDERINGS

NO	ISSUE	DATE
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Job No	12214
DRAWN BY	CHECKED BY
PG	PG
DATE	SCALE
12/09/2022	
SHEET No	

A0.2



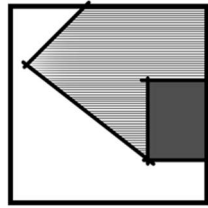
A:\Projects\12214\_14-16 Edith Street\Revit\12214\_14-16 Edith Street\_2023\_Option3.rvt

12/9/2022 5:43:40 PM

CONTRACTOR TO VERIFY ALL DIMENSIONS  
AND SETBACKS PRIOR TO CONSTRUCTION

For Review  
NOT FOR  
CONSTRUCTION  
December 9, 2022

PAUL GIRELLO  
ARCHITECT, LLC  
ARCHITECTURE | PLANNING | DESIGN  
1 Stetson Street - Braintree, MA 02184  
email: info@paulgirello.com  
tel: 781.205.9283



PROJECT:  
**14-16 Edith Street**  
Bring Us Deals 14-16 Edith Street, LLC  
C/O Bring Us Deals 14-16 Edith Street, LLC  
377 Somerville Avenue  
Somerville, MA

PROPOSED FRONT & REAR  
ELEVATIONS

NO	ISSUE	DATE
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Job No	12214
--------	-------

DRAWN BY	CHECKED BY
PG	PG

DATE	SCALE
12/09/2022	1/4" = 1'-0"

SHEET No

A2.1



① FRONT ELEVATION  
1/4" = 1'-0"



② REAR ELEVATION  
1/4" = 1'-0"

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① LEFT-SIDE ELEVATION  
1/4" = 1'-0"

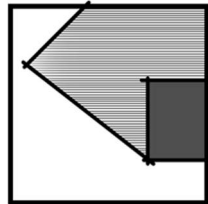


② RIGHT-SIDE ELEVATION  
1/4" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS  
AND SETBACKS PRIOR TO CONSTRUCTION

For Review  
NOT FOR  
CONSTRUCTION  
December 9, 2022

PAUL GIRELLO  
ARCHITECT, LLC  
ARCHITECTURE | PLANNING | DESIGN  
1 Stetson Street - Braintree, MA 02184  
email: info@paulgirello.com  
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PROJECT:  
**14-16 Edith Street**  
Bring Us Deals 14-16 Edith Street, LLC  
C/O Bring Us Deals 14-16 Edith Street, LLC  
377 Somerville Avenue  
Somerville, MA

**PROPOSED LEFT - &  
RIGHT-SIDE ELEVATIONS**

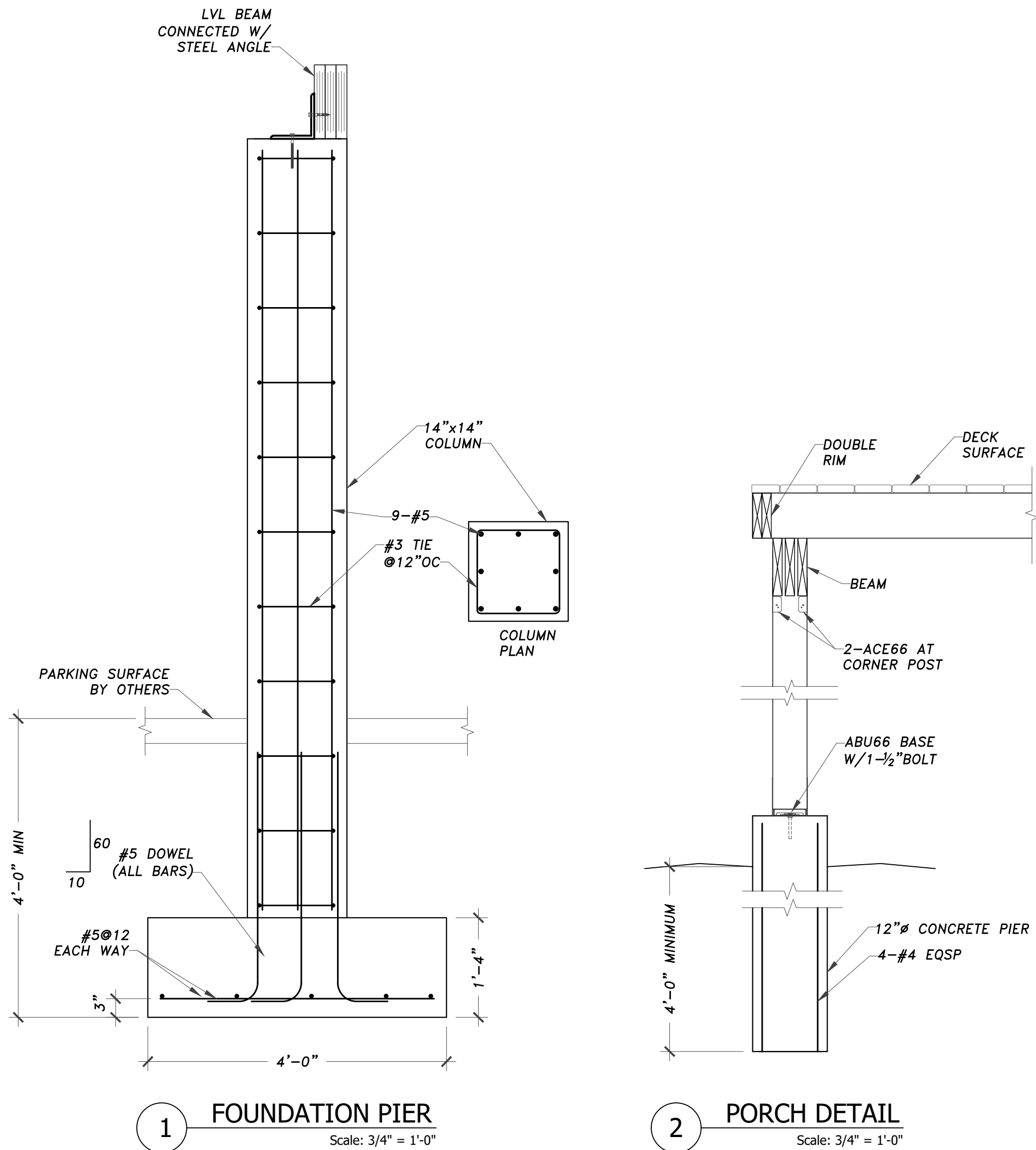
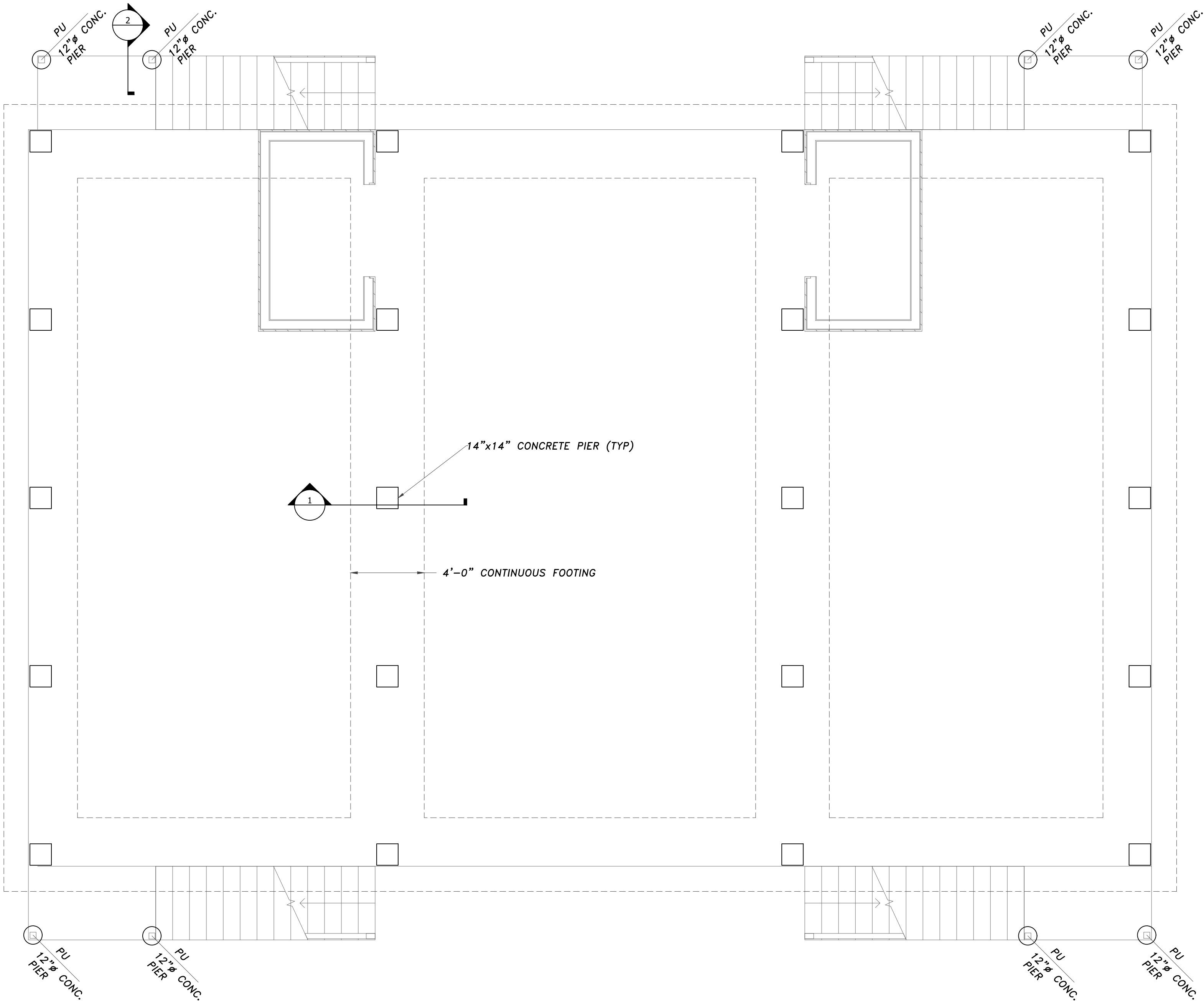
NO	ISSUE	DATE
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Job No	12214
DRAWN BY	CHECKED BY
PG	PG
DATE	SCALE
12/09/2022	1/4" = 1'-0"

SHEET No

**A2.2**





GENERAL CONDITIONS

- G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE

LIVE LOADS

GROUND SNOW LOAD:	40 PSF
UNINHABITABLE ATTICS WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS:	30 PSF
ALL OTHER AREAS	40 PSF

WIND LOADS

MASSACHUSETTS STATE BUILDING CODE 128 MPH, EXPOSURE B

DEAD LOAD

WEIGHTS OF MATERIALS AND CONSTRUCTION

FOUNDATIONS

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS AND UNDERLYING SOILS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION AND/OR ADDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING, OR HIRING A THIRD PARTY TO VERIFY, THAT THE EXISTING FOUNDATION AND UNDERLYING SOILS CONFORMS TO BUILDING CODE REQUIREMENTS AND PERFORMANCE SPECS IN THESE PLANS. IF FOUNDATIONS ARE FOUND BY CONTRACTOR TO NOT BE SUITABLE, CONTRACTOR TO CONTACT DAVIDSON ENGINEERING ASSOCIATES IMMEDIATELY AS REDESIGN OF THESE PLANS WILL LIKELY BE REQUIRED.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXISTING FOUNDATION WALLS MUST BE BEARING ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

CONCRETE

- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
- REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

LEGEND

BW = BEARING WALL  
FVP = FLAT VALLEY PLATE  
(E) = EXISTING  
(N) = NEW  
TBR = TO BE REMOVED

POST LOCATION POST UP (ABOVE LINE)  
POST DOWN (BELOW LINE)

DIM. LUMBER POST  
NUMBER OF STUDS  
P3-26 SIZE OF STUD  
TYPE OF POST:  
P-POST, J-JACK,

ENGINEERED POST  
LC 3/8" SIZE  
TYPE OF POST:  
VC-VERSA COLUMN,  
LC-LALLY COLUMN,  
HSS-TUBE STEEL



FOUNDATION DESIGN  
14-16 EDITH STREET  
ARLINGTON, MA

Rev:

Date:

FOR CONST.

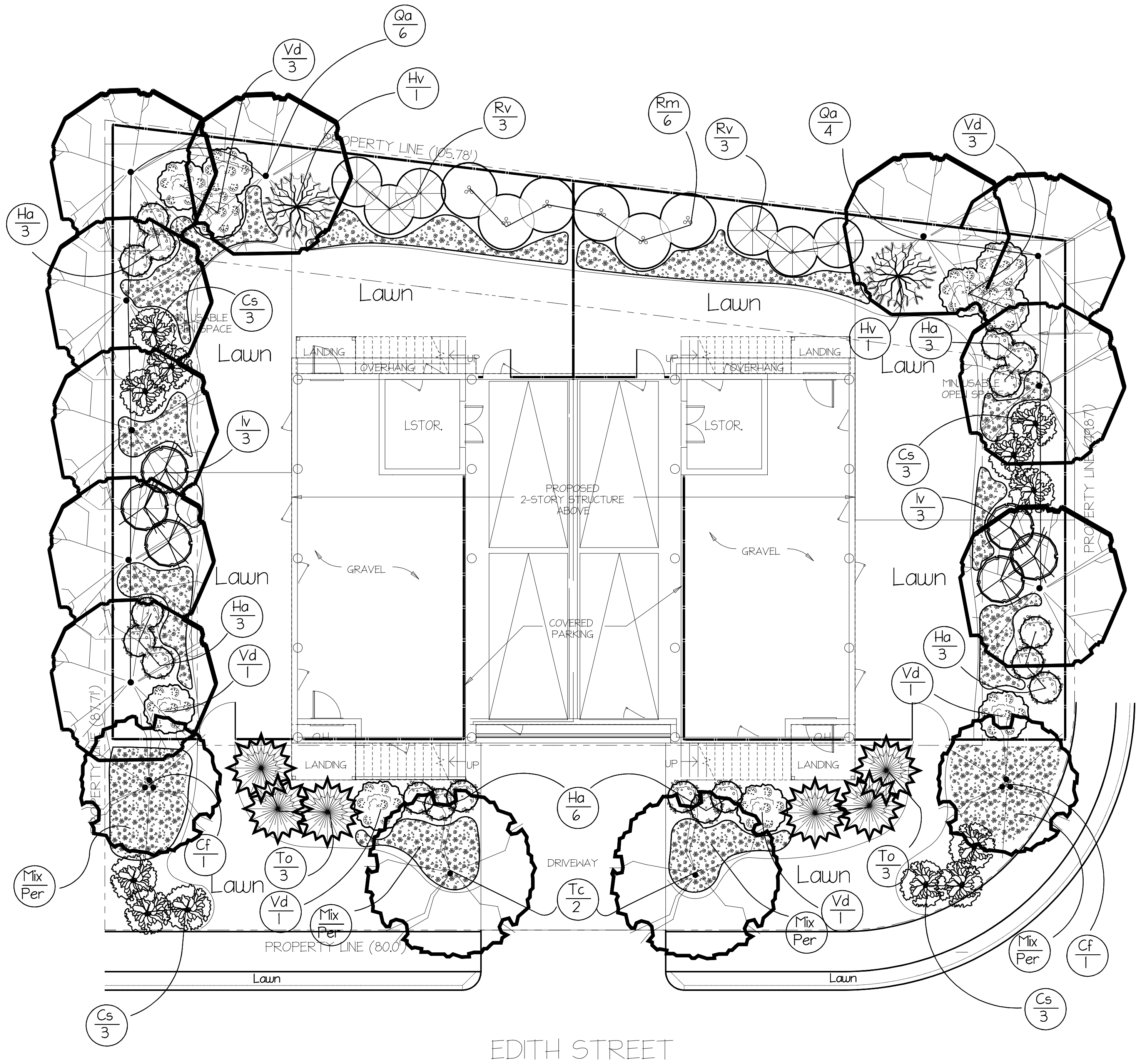
Date : DEC. 13, 2022

DRAWING SCALES  
SHOWN ARE BASED ON  
AN 24x36 SIZE DRAWING

PLANS,  
SECTIONS,  
NOTES

S1.0





EDITH STREET

LANDSCAPE PLAN NOTES:

1. THIS PLAN IS FOR INFORMATIONAL & ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.

2. SEE EXISTING & PROPOSED SITE PLANS BY OTHERS FOR ADDITIONAL SCOPE, DIMENSIONS, EXISTING CONDITIONS, & PROPOSED CONDITIONS.

3. 6' TALL VINYL FENCE AT BACK AND SIDES OF PROPERTY. 4' TALL METAL OR VINYL FENCE AT FRONT OF PROPERTY.

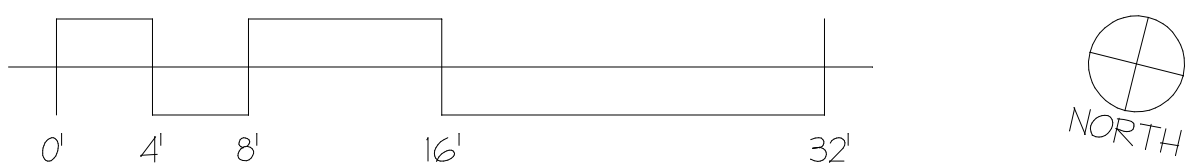
4. ALL FENCING SHAL MAINTAIN 4 INCHES OF CLEARANCE AT THE BOTTOM OF EACH FENCE PANEL TO ALLOW FOR WILDLIFE MOVEMENT.

5. ALL PLANT BEDS TOPPED WITH 2" OF LEAF MULCH. ALL PLANT BED AREAS CONTAIN NATIVE RESTORATION PLANTINGS.
6. ALL PERENNIALS TO BE LAYED OUT IN-FIELD. LAYOUT TO BE APPROVED BY LANDSCAPE DESIGNER.

7. ALL PLANTINGS ARE SUBJECT TO AVAILABILITY. ALL SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE DESIGNER.

8. PRUNING BACK TREES FROM THE CONSERVATION LAND TO NOT EXCEED 30 F.

9. ALL PRUNING TO BE PERFORMED BY A CERTIFIED ARBORIST UTILIZING THE ANSI A-300 PRUNING STANDARD.

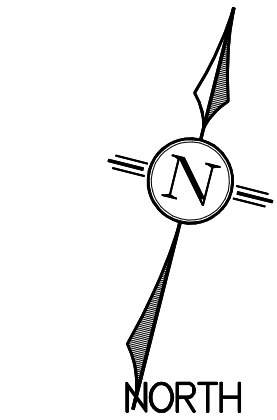


	Indicator	Status	Native	ID Key	Plant Type/ Name	Qty.	Size
Trees & Shrubs	FACU	Yes	Yes	Tc	Tilia americana - Tree	2	25-3" cal. B#B
	FACW	Yes	Yes	Ha	Clethra alnifolia - Shrub	18	7 gal CN
	FAC	Yes	Yes	Vd	Viburnum dentatum - Shrub	10	6-7' tall B#B
	FACU	Yes	Yes	Hv	Hamamelis virginiana - Shrub	2	4-5' tall B#B
	FACU	Yes	Yes	Cf	Cornus florida - Tree	2	2-25" cal. B#B
	FACU	Yes	Yes	To	Juniperus virginiana - Lg. Shrub/Tree	6	10-12' tall B#B
	FACU	Yes	Yes	Qa	Quercus alba - Tree	10	25-3" cal. B#B
	FACW	Yes	Yes	Rv	Rhododendron viscosum - Shrub	6	10 gal. CN
	FAC	Yes	Yes	Rm	Rhododendron maximum - Shrub	6	5-6' tall B#B
	FACW	Yes	Yes	Cs	Cornus sericea - Shrub	12	5 gal. CN
	FACW	Yes	Yes	Iv	Ilex verticillata - Shrub	6	7 gal. CN
	FACW	Yes	Yes	Iv	Ilex verticillata - Shrub	6	7 gal. CN
Perennials	OBL	Yes	Yes	MIX	Lobelia cardinalis - Perennial	25	1 gal. CN
	FACW	Yes	Yes	MIX	Amsonia tabernaemontana - Perennial	25	1 gal. CN
	FAC	yes	Yes	MIX	Penstemon digitalis - Perennial	25	1 gal. CN
	OBL	Yes	Yes	MIX	Eupatorium maculatum - Perennial	25	1 gal. CN
	FACW	Yes	Yes	MIX	Symphytotrichum novae-angliae - Perennial	25	1 gal. CN
	FACU	Yes	Yes	MIX	Baptisia australis - Perennial	25	1 gal. CN
	FACW	Yes	Yes	MIX	Lobelia siphilitica - Perennial	25	1 gal. CN
	N/A	Yes	Yes	MIX	Coreopsis verticillata - Perennial	25	1 gal. CN

Proposed Native Restoration Plantings Plan

14-16 Edith Street, Arlington, MA

SCALE 1" = 8' - 0" DATE 12/09/2022 DRAWING # LP - 10



Developed By:  
Sasha Pilyavskiy M.A.L.D.  
617-913-4395  
sashap.design2@gmail.com



## Town of Arlington, Massachusetts

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### Notice of Intent: Mystic Bridge (Continuation)

#### Summary:

Notice of Intent: Mystic Bridge (Continuation)

Documents: Mystic Street Bridge Supplemental Materials

This public hearing will consider a Notice of Intent to reconstruct the Mystic Street Bridge at 0 Lot Mystic Street. Work is proposed within the Riverfront Area, Land Under Water, and Bank to Mill Brook, as well as Bordering Vegetated Wetland, and Land Subject to Flooding (Zone AE).

#### ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	Mystic_Bridge_Supplemental_Materials.pdf	S:\Conservation\01 Permitting\014 NOI\0140 Notices of Intent\Mystic Street Bridge\Supplemental Materials



TOWN OF ARLINGTON  
Department of Public Works  
51 Grove Street  
Arlington, Massachusetts 02476  
*Office (781) 316-3320 Fax (781) 316-3281*

Engineering Division

### Mystic Street Bridge: Notice of Intent – Supplemental Information

To: David Morgan; Conservation Commission Administrator  
From: Wayne Chouinard; Department of Public Works  
Re: Mystic Street Bridge Notice of Intent  
Date: December 28, 2022

Dear Mr. Morgan and Commission Members,

Based upon discussions held during the first public meeting for the Notice of Intent for the Mystic Street Bridge Reconstruction Project held on December 1, 2022 the Department of Public Works (DPW) provides the following additional information as requested.

As originally submitted the DPW indicated in Item 7b, that the work category was considered eligible to be treated as a limited project under 310 CMR 10.0. Included with this response is further categorization of the limited project status as detailed in 10.53(3)(i).

The DPW requests the during the review of this submittal that the Commission consider the following design efforts which were undertaken to minimize the extent of impacts on adjacent resource areas:

#### **Extent of Mitigation:**

The project as proposed has been designed to minimize the area of disturbance of this project and to reduce potential adverse impacts as follows.

- Excavation is limited to provide only that area necessary to install concrete forms, reinforcement steel and pour concrete to construct the new bridge abutments and the interconnection of these abutments into the existing abutment walls.
- Any disturbance outside of the abutment walls will be fully restored, including the existing contours and surface vegetation by utilizing appropriate restoration methods and plant material.
- The bridge was intentionally designed to span the existing bridge abutments to allow the existing abutment walls to remain and reduce impacts caused by their alteration or removal.
- The proposed abutments were designed to connect with the existing abutments to remove the need for further excavation and impacts to the adjacent bank areas.

#### **Mitigation Improvements:**

The proposed project will improve flow conditions of Mill Brook at the bridge and improve the water quality of stormwater runoff discharged to Mill Brook through the following:

1. The proposed project will improve flood mitigation through removal of the center pier. This will reduce the chances for blockage caused by branches and debris which historically have been caught on the center pier.



2. The proposed catch basins will improved water quality as they will include deep sump catch basins and hooded outlets to separate sediment and floatables, whereas the existing catch basins discharge directly into the brook.
3. The Mystic Street Bridge Construction Project is one aspect of a long term plan to improve the conditions of the portion of Mill Brook located between the outfall of Mill Brook located adjacent to Cusack Tower and the Lower Mystic Lake. Due to budget limitations the improvements will take place separately and include:
  - a. Reconstruction of the Mystic Street Bridge; will reduce the opportunity for flooding impacts due to the removal of the center pier located under the bridge.
  - b. Park enhancement and bank stabilization and restoration at Cooke's Hollow; will restore habitat and bank stabilization to reduce erosion potential.
  - c. Mill Brook Bank Restoration at Mt. Pleasant Cemetery; will restore eroded bank areas of Mill Brook in the vicinity of the Cemetery by restoring and reinforcing the banks of Mill Brook. Bank stabilization and reinforcement with "living wall" type material will reduce erosion and more effectively transmit the flow of Mill Brook during high velocity flow.
  - d. Meadowbrook Park Flood Mitigation Project; plans are intended to utilize the Meadowbrook Park area to increase flood storage capacity and reduce down-stream impacts caused by flooding.

#### **Resource Areas:**

The Resource Area Plan originally included with the Notice of Intent submittal utilized a conservative approach and assigned the areas adjacent to the work zone as bordering vegetated wetlands simply due the presence of some wetland indicator species. Upon further inspection and utilization of the "Dominance Test" procedures provided in the DEP "Delineating Bordering Vegetated Wetlands Handbook, 1995" it was determined that the areas did not support the BVW designation. For ease of permitting, the DPW respectfully requests the re-categorization of the areas initially depicted as "bordering vegetated wetland" adjacent to the proposed work.

#### **Limits of Work: Disturbance Areas:**

##### **Abutment Wall Construction**

The areas adjacent to the existing abutment walls require excavation to a limit of approximately 6 feet beyond the abutment connections to allow for foundation preparation, construction of the abutment walls and the interconnection of the existing and proposed abutments. A temporary construction easement will be provided to adjacent properties. The limits of excavation have been more clearly depicted on the revised Resource Area Plan. All work which disturbs the ground surface shall include slope re-stabilization as soon as practical and erosion and sediment barriers at the bottom of slopes.

##### **Mystic Street Utility Work:**

The area of work has been revised to differentiate the abutment and bridge work proposed within the resource areas and separately identifies the work area located within Mystic Street requiring the installation, and relocation of utilities. The utility work will be contained within the curb line of Mystic Street. Proper maintenance of the work zone including sweeping of the road way and sediment protection for the catch basins



**Turbidity Boom Specifications:**

The following specifications will be included in the bridge specifications as they pertain to the water boom – turbidity curtain requirements.

**Water Quality**

The Contractor shall take all necessary precautions to prevent debris due to demolition and construction related activities from entering the water. The Contractor shall protect all drains to prevent debris from entering the storm sewer system.

During construction that is performed over water, the Contractor shall provide water booms, a method for anchoring the water booms and a procedure for removing any debris that inadvertently enters the water.

Water-booms shall be installed daily if any construction or work activity is proposed over Mill Brook. Due to the tendency of flow in Mill Brook to rise with minimal rainfall, water-booms shall be removed at the end of each work day.



**TOWN OF ARLINGTON**  
**DEPARTMENT OF PUBLIC WORKS**  
51 GROVE STREET  
ARLINGTON, MA 02476

Phone: 781-316-3320  
Fax: 781-316-3281

Wednesday, December 28, 2022

**Mystic Street Bridge Reconstruction Project**

**RESOURCE AREA SUMMARY**

Revised December 27, 2022

(See Revised Resource Area Plan and Disturbance Area Plan)

The Mystic Street Bridge crosses over Mill Brook which is a perennial stream, but is also a major conduit for stormwater flow and collects tributary runoff for a significant portion of the Town. The proposed Mystic Street Bridge Reconstruction Project is located within and/or adjacent to adjacent resources areas as described below.

Following a review of the requirements of 310CMR10.00 it is the Engineering Division's opinion that proposed work activity is exempt from the requirements of the Wetland Protection Act as indicated in 310CMR c. 131, § 40.(a) 1. and 2. However, due to the complexity of the project and importance of Mill Brook, a Notice of Intent is being provided to ensure any and all requirements are met and to ensure that *Mill Brook* is not adversely impacted by the proposed work activities.

The following summary is a description of the jurisdictional areas under 310CMR10.00 and the proposed work activity proposed within each area:

1. Bank
2. Land Under Water
3. Land Subject to Flooding
4. Riverfront Area

**310CMR10.00: Statement of Jurisdiction**

**(1) Areas Subject to Protection under M.G.L. c. 131, § 40. Bank, bordering on any River**

**a. (1) Bank bordering on river (within existing bridge channel):**

- The work proposed within the "Bank Area" of Mill Brook includes the required demolition and removal of portions of the existing foundation and abutments to provide room for the installation of new micro-piles, wing walls, pile caps and abutments and the necessary connections to the existing substructure. As part of this work all incidental items including concrete formwork, installation of steel reinforcement, placement of concrete and all structural connections will take place.
- Following the removal and installation of the above items, steel I-beams will be installed and connected to the substructure. Installation will include all incidental work including concrete formwork, placement of steel reinforcement, concrete pedestals, utility sleeves and structural connections.
- New connections will be made to existing utilities and extension of all utilities will be made to the appropriate utility corridors located between the steel I-beams. Installation will include all

incidental work including excavation, pipe work, concrete formwork and placement of concrete and structural connectors.

- Installation of existing utilities within the utility corridors and required utility supports will be installed over Mill Brook from one abutment to the opposite abutment. During this, and any phase performing work over Mill Brook the contractor will be required to provide a safety barrier over Mill Brook to prevent items from falling into Mill Brook.
- Upon completion of utilities, the reinforced concrete deck will be installed over the bridge span crossing Mill Brook and include concrete form work, installation of reinforcing steel and placement and finishing of concrete. This work will include reinforced concrete sidewalks and installation of bridge rail and supports (for Stage 1 & Stage 3)

**b. Land under any water body (River):**

- The work proposed in “Land under Water” includes the removal of the existing center support pier under the bridge. Removal of the pier was included in the project scope and evaluated as part of the Hydraulic Report. This activity is proposed to remove the components of the existing bridge infrastructure (center pier) that has historically collected debris and impacted the flow of Mill Brook under the bridge causing flow to back up and flow over the bridge. Removal of the center pier will significantly reduce the chance of debris collecting.
- Work to remove the pier is specified to be removed utilizing a grapple, or cables to minimize disturbance to the bottom of the brook. During this phase of the work, the contractor will be required to install a sediment and turbidity boom down stream of the work to enhance protection of the brook and down-stream flow.

**e. Land Subject to flooding**

- The 100 year Base Flood Elevation (BFE) is located adjacent to the proposed work activity and within the bridge channel. All work is referenced above. No work is being performed that will change the flood storage volume. Restoration activity including placement of rip-rap and re-vegetating of slope shall mimic grading prior to construction.

**f. Riverfront area**

- All proposed work is located in the 100 Riverfront Area and is detailed above.
- See “Work within Resource Area Plan” for required conditions.

**Addendum:**

There were four (4) areas included with the original NOI submittal and previously referenced as bordering vegetated wetlands (BVW). This was based on a conservative approach simply due to the presence of some wetland indicator species and for expedience. Due to consideration of the additional permitting impacts required by this classification and upon further analysis, the DPW has evaluated more closely the overall vegetated community of these areas considering the criteria and procedures of the “Dominance Test” detailed in the MassDEP Delineating Bordering Vegetated Wetlands Handbook.

Based on observations of the vegetated community, including plant abundance, indicator status and observation plot criteria the DPW has determined that the areas do not meet the necessary percent cover for each community plot. There is also presence of numerous and extensive plant growth of invasive species in these areas.

Additionally, soil conditions were evaluated revealing a predominance of coarse sands and gravels with minimal fines and no evidence of hydric soils due to soil color or the presence of redoximorphic features. As such, based on these vegetation and hydrologic indicators the DPW respectfully requests the Commission consider this data in support of the removal of the BVW classification.

The Surface conditions along Mill Brook adjacent to bridge substructure consists of sparse vegetation, invasive plants, rip-rap, boulders, bare ground and concrete. A general description of these four (4) areas are as described below.

1. On the northern side of the up-stream area adjacent to where Mill Brook flows under bridge there is a landscaped sitting area at the entrance to Cooke's Hollow adjacent to the bridge abutments and many feet in elevation above Mill Brook. There are no observable wetland species as this area has been disturbed and is now maintained as a landscaped open space area. Further up-stream the bank of Mill Brook is defined, however this area is outside of any proposed work.
2. On the southern side of the up-stream area adjacent to where Mill Brook flows under bridge the topography slopes upwards from the brook towards the Eversource Substation. The surface in the lower elevations adjacent to Mill Brook includes boulders, cobbles and bare soil. The plant community appears to strengthen as the slope rises above and the impacts of the high velocity flow and scour of Mill Brook.
3. On the northern side of the down-stream area adjacent to where Mill Brook flows out from under the bridge, there is the presence of a vertical concrete walls which transitions from the bridge substructure into the foundation of the adjacent building. The only vegetation and soil present is at street level in front of 91 Mystic Street consisting of a maintained lawn and landscaped area. Mill Brook flows immediately adjacent to the concrete abutments and foundation.
4. On the southern side of the down-stream area adjacent to where Mill Brook flows out from under the bridge there is a sparsely vegetated slope sloping gradually up from the brook towards the top of bank at the Armstrong Ambulance property. Vegetation consists mostly of saplings, shrubs and trees with little herbaceous cover. Downstream from this location and outside of the proposed work zone, the brook edge develops a slight undercut and vegetation is more predominant.

To reduce impacts, protect the resource area and mitigate potential impacts, the contractor will be required to provide and maintain siltation control ("silt sacks") at all catch basins within the work areas. Erosion control barriers, such as hay bales, and daily street sweeping activities will also be required within the 200-foot Riverfront Area at the foot of the slope or adjacent to any proposed excavation in the work zone. Refueling of equipment will be prohibited within the 200-foot Riverfront Area.

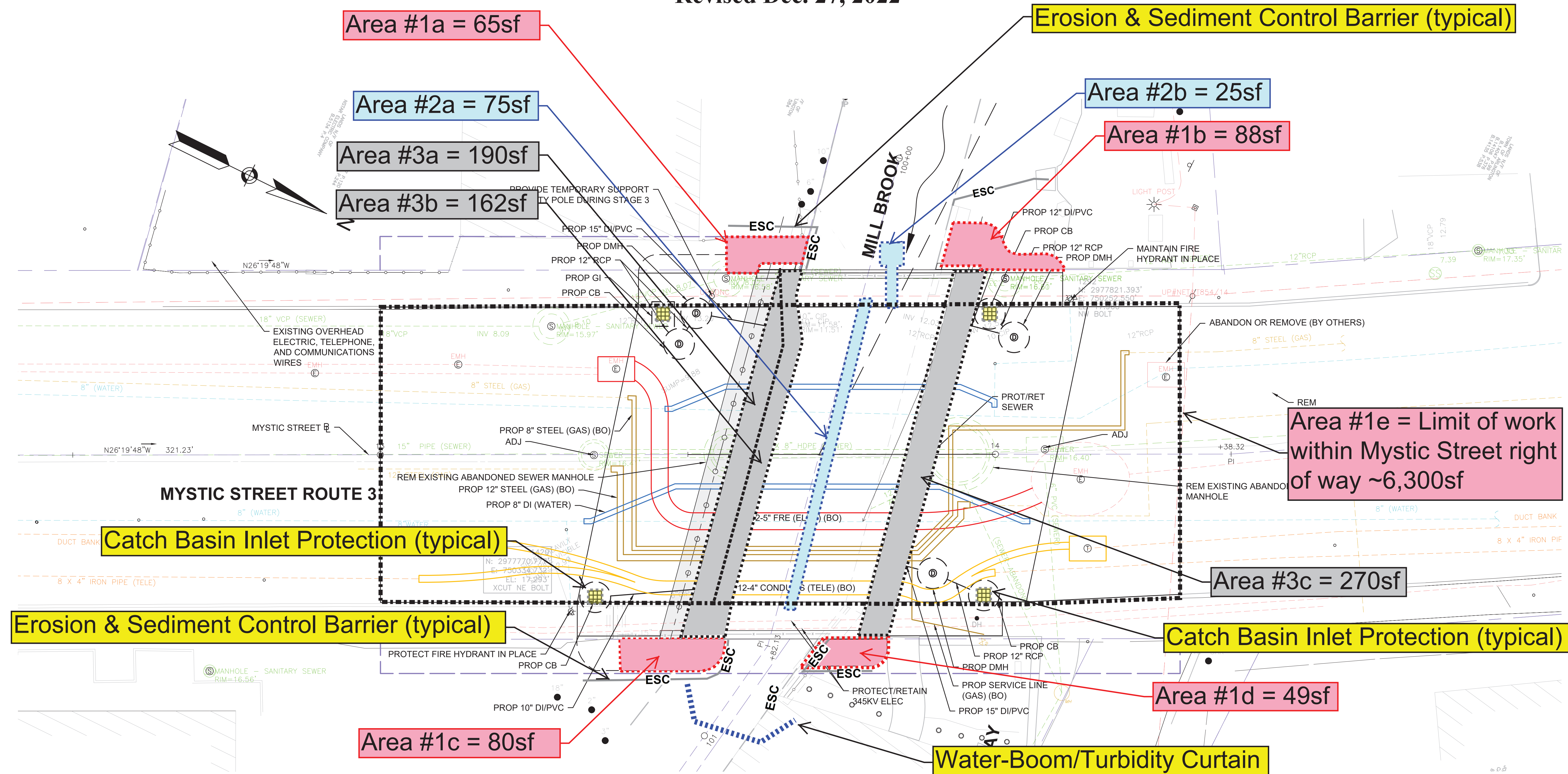
Additionally, water-booms/turbidity curtains will be required whenever excavation is performed or work is planned over open water of Mill Brook. The water-boom shall be securely fastened. Due to the susceptibility of frequent water rise of mill Brook, the water-booms shall be removed at the end of each work day to prevent impacts caused by Mill Brook should a precipitation event occur after work hours. The Town of Arlington Engineering Division in conjunction with Gill Engineering will provide construction oversight and monitoring. It is anticipated that Engineering Staff will be on -site daily and will ensure all required conditions are met.

If you should have any questions or would like to discuss this application further, please feel free to contact the Engineering Division at 781-316-3320 or by email at [Engineering@town.arlington.ma.us](mailto:Engineering@town.arlington.ma.us).



**WORK WITHIN RESOURCE AREA PLAN**  
**(disturbance areas denoted on Bridge Utility Plan)**

Revised Dec. 27, 2022



**WORK IN RESOURCE AREA**

**Area #1:** work within the riverfront area and wetland buffer zone = 282sf; work in this area consists of excavation to install abutments and perform restoration of disturbed area with wetland restoration mix and/or rip-rap.

**Area #2:** work under water = 100sf; work shall consists of removing existing center piers. Piers and footing to be lifted with grapple and/or chains to minimize disturbance. Excavation method will not be utilized.

**Area #3:** Abutment Construction work located in the river front buffer area = 622sf; work in this area will not cause additional disturbance. Area on top of the northern abutment wall will be capped with a concrete top and the area behind the southern abutment wall will be filled with rip-rap. Utility work within Mystic Street right of way will be located between the curb line. Silt sack protection for catch basin inlets and daily sweeping is required.



DATE	DRW BY	CALC BY	APPR BY	DESCRIPTION
04/07/2021	AIL	AIL	SBC	CHAPTER 85 SUBMISSION

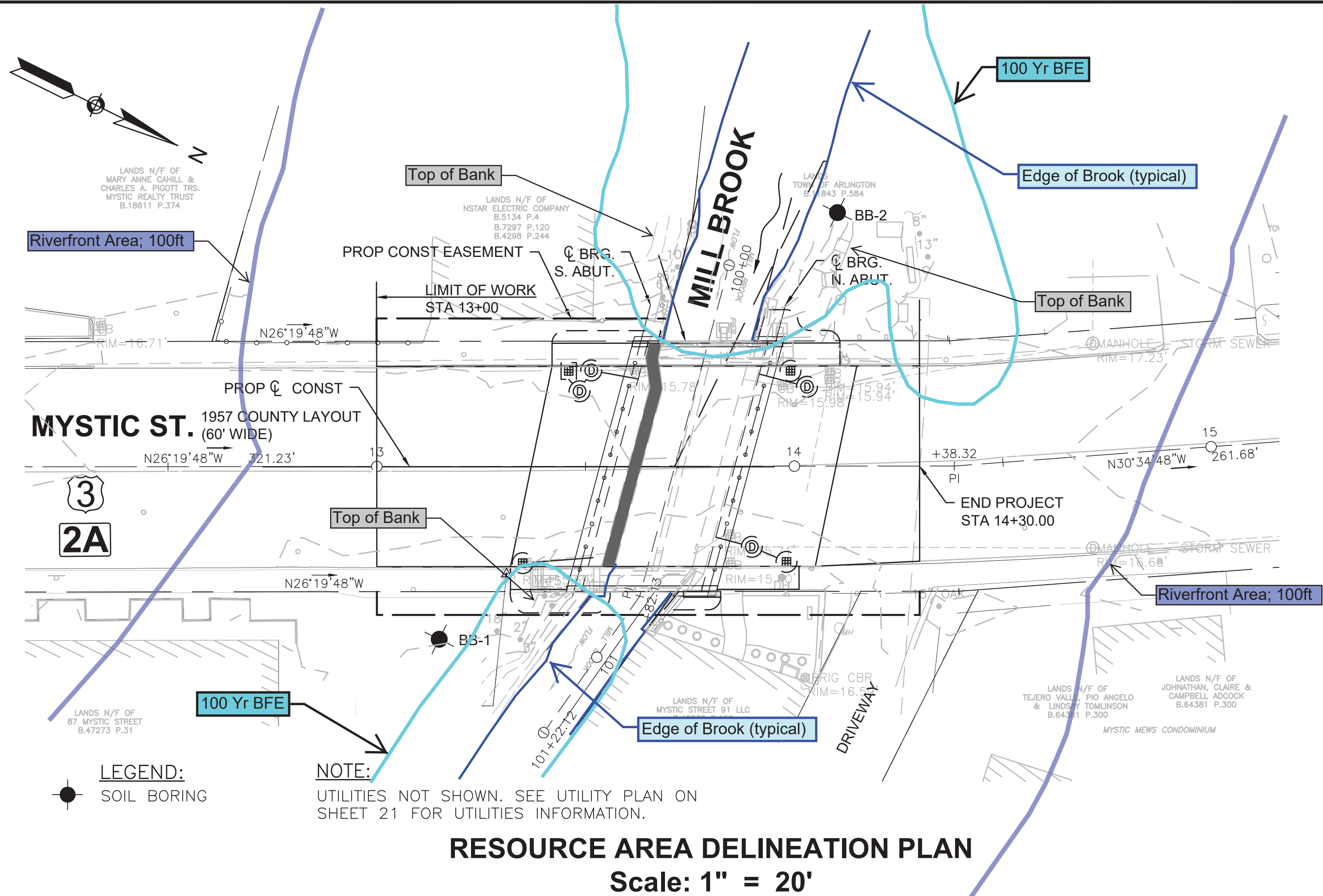
**DISTURBANCE AREA PLAN**

revised December 27, 2022

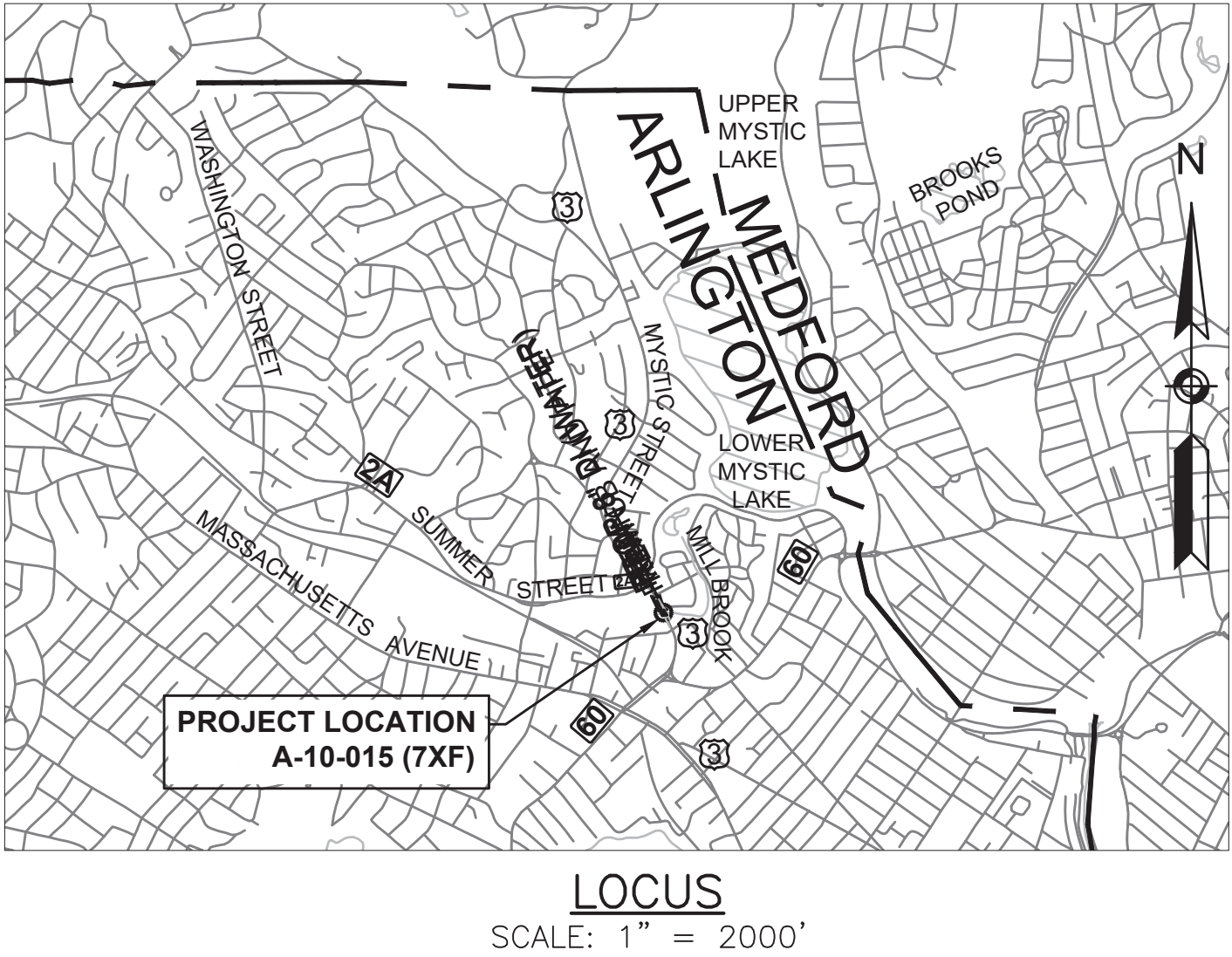
REGISTERED PROFESSIONAL ENGINEER

DATE





RESOURCE AREA SUMMARY	
Description	Disturbance
Land Under Water:	100sf (temporary)
Bank Area:	282 sf (temporary)
Flood Zone: AE	22 sf (temporary)
Riverfront Area	
Abutments	282 sf
Utilities	6,300 sf
Total	6,582 sf (temporary)



RESOURCE AREA DELINEATION PLAN  
Scale: 1" = 20'

CONSERVATION COMMISSION CONDITIONS LIST

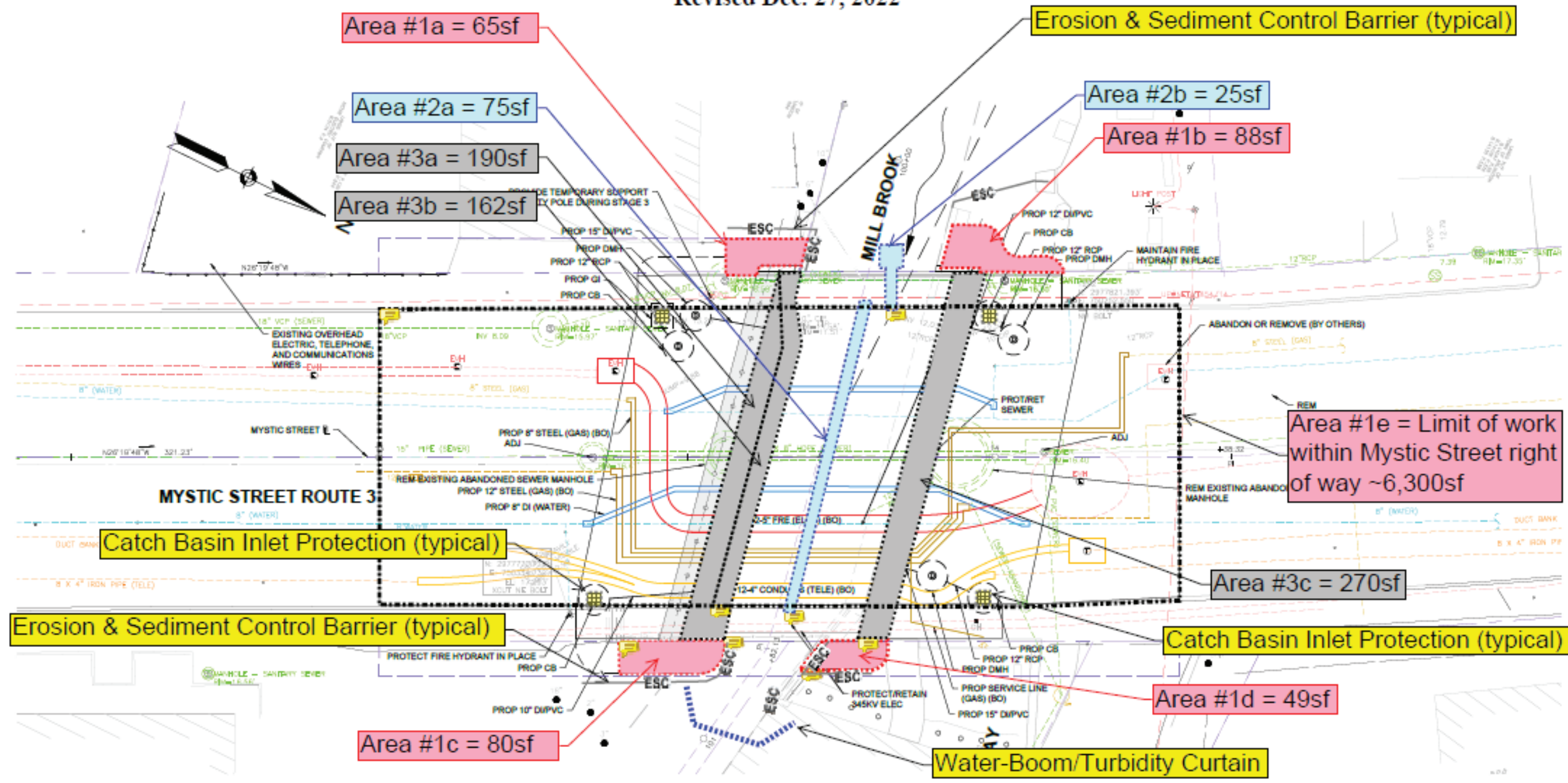
- CONSERVATION COMMISSION CONDITIONS LIST**  
**PRE-CONSTRUCTION**
1. Work permitted by this Order and Permit shall conform to the Notice of Intent, the approved plans and documents (listed above), and oral representations (as recorded in hearing minutes) submitted or made by the Applicant and the Applicant's agents or representatives, as well as any plans and other data, information or representations submitted per these Conditions and approved by the Commission.
  2. The provisions of this Order and Permit shall apply to and be binding upon the Applicant and Applicant's assignees, tenants, property management company, employees, contractors, and agents.
  3. If there are conflicting conditions within this Order, the stricter condition(s) shall govern.
  4. No work shall begin under this Order until: (a) all other required permits or approvals have been obtained and (b) the appeal period of ten (10) business days from the date of issue of this Order has expired without any appeal being filed, and (c) this Order has been recorded in the Registry of Deeds. No work shall be started under this Permit until all other necessary permits or approvals have been obtained.
  5. The Applicant shall ensure that a copy of this Order of Conditions and Permit for work, with any referenced plans, is always available on site, and that contractors, site managers, foremen, and sub-contractors understand its provisions.
  6. Prior to starting work, the Applicant shall submit to the Commission the names and 24-hour phone numbers of project managers or the persons responsible for site work or mitigation.
  7. Before work begins, erosion and sediment controls shall be installed at the limits of the work area or as outlined on the approved plans. These will include a silt fence and a biodegradable 12-inch straw or silt wattle around the entire work area (hay bales are not allowed and silt socks are preferred).
  8. Prior to any work commencing, a sign no less than 2 square feet or more than 3 square feet, visible from the street, shall be displayed reading "MA DEP File # \_\_\_\_\_" and not placed on a living tree.
  9. The Applicant shall complete the proposed work during low flow conditions only.
  10. The contractor shall contact Conservation Agent; concomm@town.arlington.ma.us; or (781-316-3012) to arrange for a pre-construction meeting with the on-site project manager to walk through the Order of Conditions, confirm the wash out location, and walk the site to confirm the installation and placement of erosion controls prior to the start of any grading or construction work.
  11. The contractor shall provide written Notice of the commencement of work start date to the Conservation Agent 48 hours prior to start of work.
  12. The Commission, its employees, and its agents shall have the right of entry onto the site to inspect for compliance with the terms of this Order of Conditions and Permit until a Certificate of Compliance has been issued.
  13. Any backfill or reuse of on-site materials shall be free of contamination in accordance with the Massachusetts Contingency Plan, 310 CMR 40.0000. All fill used in connection with this project shall be clean borrow. The following shall be prohibited: chemically contaminated material; concrete and asphalt rubble; crushed glass; stumps and other solid waste or anthropogenic materials.
- POST-CONSTRUCTION**
14. When requesting a Certificate of Compliance for this Order of Conditions, the Applicant must submit a written statement from a Massachusetts professional engineer, registered land surveyor, or registered landscape architect certifying that the completed work complies with the plans referenced in this Order or provide an as-built plan and statement describing any differences.
- DUMPSTERS**
15. All dumpsters must be covered at the end of each workday, and no dumpsters will be allowed overnight within the 100-foot Buffer Zone or Adjacent Upland Resource Areas ("AURA") or other Resource Areas.
- STOCKPILING**
16. No uncovered stockpiling of materials shall be permitted overnight within 100 feet of any waterway or water body. Stockpiling shall occur only where noted on approved plans.

- EROSION**
17. Areas that are disturbed by construction and access activities shall as soon as possible be brought to final grade and reseeded and restabilized and shall be done so prior to the removal of the erosion control barrier. Erosion control measures shall be installed per the approved plans.
- EQUIPMENT**
18. The Commission and its Agent shall have the discretion to require additional erosion/siltation control methods during construction if necessary.
  19. No heavy equipment may be stored overnight within 50 feet of the wetland and no refueling or maintenance of machinery shall be allowed within the 100-foot Buffer Zone, 200-foot Resource Area, and Adjacent Upland Resource Area or within any Resource Area.
  20. Construction entrances shall be used and maintained only where noted on approved plans.
  21. Arrangements shall be made for any rinsing of tools, equipment, etc. associated with on-site mixing or use of concrete or other materials such that the wastewater is disposed of in the concrete wash out station-at least 50 feet from the resource area. In no case may waste water be discharged into or onto Resource Areas or on adjacent to the site. In no case may waste water be placed in storm drains. Any spillage of materials shall be cleaned up promptly.
- SWEEPING**
22. Any dirt or debris spilled or tracked onto any paved streets shall be swept up and removed daily.
  23. The areas of construction shall remain in a stable condition at the close of each construction day.
- DEWATERING**
24. Any dewatering operations shall conform to the following:
    - (a) Notify the Conservation Commission that dewatering is required.
    - (b) Any catch basins, drains, and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
    - (c) Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street, drain, or adjacent property.
    - (d) Measures shall be taken to ensure that no erosion or scouring shall occur on public or private property, or on the banks or bottoms of water bodies, because of dewatering operations.
    - (e) Dewatering shall occur only where noted on approved plans.
- PLANTINGS**
25. Prior to plant installation, the Applicant shall submit planting plan details to the Conservation Commission for approval. Planting details shall include plant sizes, Latin names, regular names, number of plants, and transported method (containerized, balled-and-burlapped, etc.). All plantings shall be native and be installed and maintained according to the standards of the American Association of Nurserymen (AAN). This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
  26. The Applicant shall protect all area trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement, protecting trees through securing (not nailing) 2x4 boards, between 6-8 feet in length, around tree base. The boards shall be installed vertically such that one end is installed directly into the ground. Alternative protection measures must be approved by the Commission or its agent.
  27. The Applicant shall replace all removed trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement.

28. All native restoration plantings shall be maintained for three years, and invasive species removal implemented through this project shall be ongoing for three years. A survival rate of at least 80% must be maintained for the approved restoration plantings. A monitoring report shall be submitted annually in November for the three-year monitoring period and shall include the number and types of restoration plantings evaluated, condition of the plantings, and status of invasive plant removal. The Applicant must provide a monitoring report by a qualified consultant for survival of all approved plantings. The monitoring report must include measures to remove invasive species if they are discovered.
- CHEMICALS**
29. To avoid adding excess nitrogen runoff, the Applicant shall only treat the lawn area with slow-release nitrogen fertilizer. Application of lawn fertilizer cannot occur in the summer, or after storm events. Lawn fertilizer shall only be applied twice a year, in spring and fall. This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
  30. New plantings shall only be fertilized once, during the initial planting year. No pesticides or rodenticides shall be used to treat pest management issues. This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
  31. Only the herbicides and herbicide treatment methods stated within the NOI are approved to treat invasive plants. No other herbicides or treatment methods are approved. This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
- PERVIOUS SURFACES**
32. Pervious surfaces shown on the project plans shall be maintained and not be replaced by impervious surfaces. This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
  33. Installed permeable surfaces shall be maintained in perpetuity. Prior to construction, the Applicant shall provide an operations and maintenance plan for installed permeable surfaces and, at the discretion of the Commission, a signed copy of a contract for professional maintenance. This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.
- STORMWATER**
34. The Applicant shall protect all adjacent catch basins using silt socks.
  35. The Applicant shall conduct catch basin sump cleanings as necessary to proximate catch basins at the end of the project work period.
  36. The project shall not cause an increase in run-off or stormwater volume onto adjacent properties, either during construction or when completed.

WORK WITHIN RESOURCE AREA PLAN  
(disturbance areas denoted on Bridge Utility Plan)

Revised Dec. 27, 2022



WORK IN RESOURCE AREA

- Area #1: work within the riverfront area and wetland buffer zone = 282sf; work in this area consists of excavation to install abutments and perform restoration of disturbed area with wetland restoration mix and/or rip-rap.
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For more detail see Disturbance Area Plan; revised Dec. 27, 2022



DATE	DRW BY	CALC BY	APPRV BY	DESCRIPTION
04/01/2021	AEI	AEI	AMS	CHAPTER 85 SUBMISSION

RESOURCE AREA PLAN  
revised Dec. 27, 2022

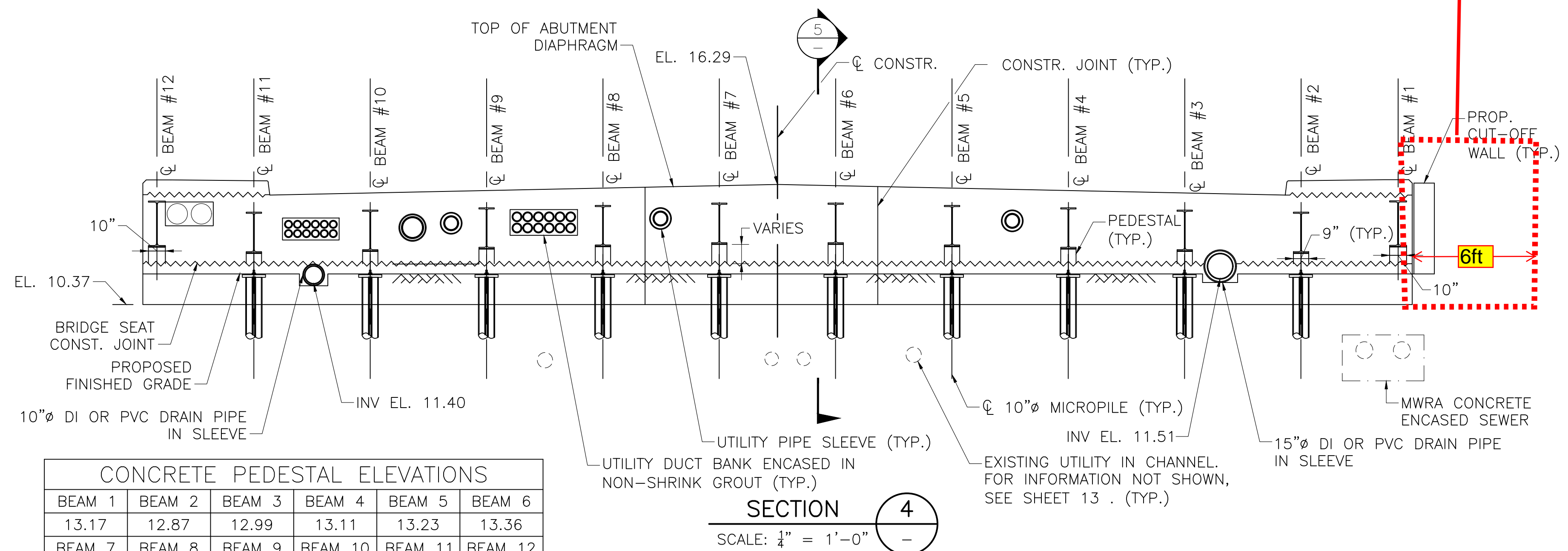
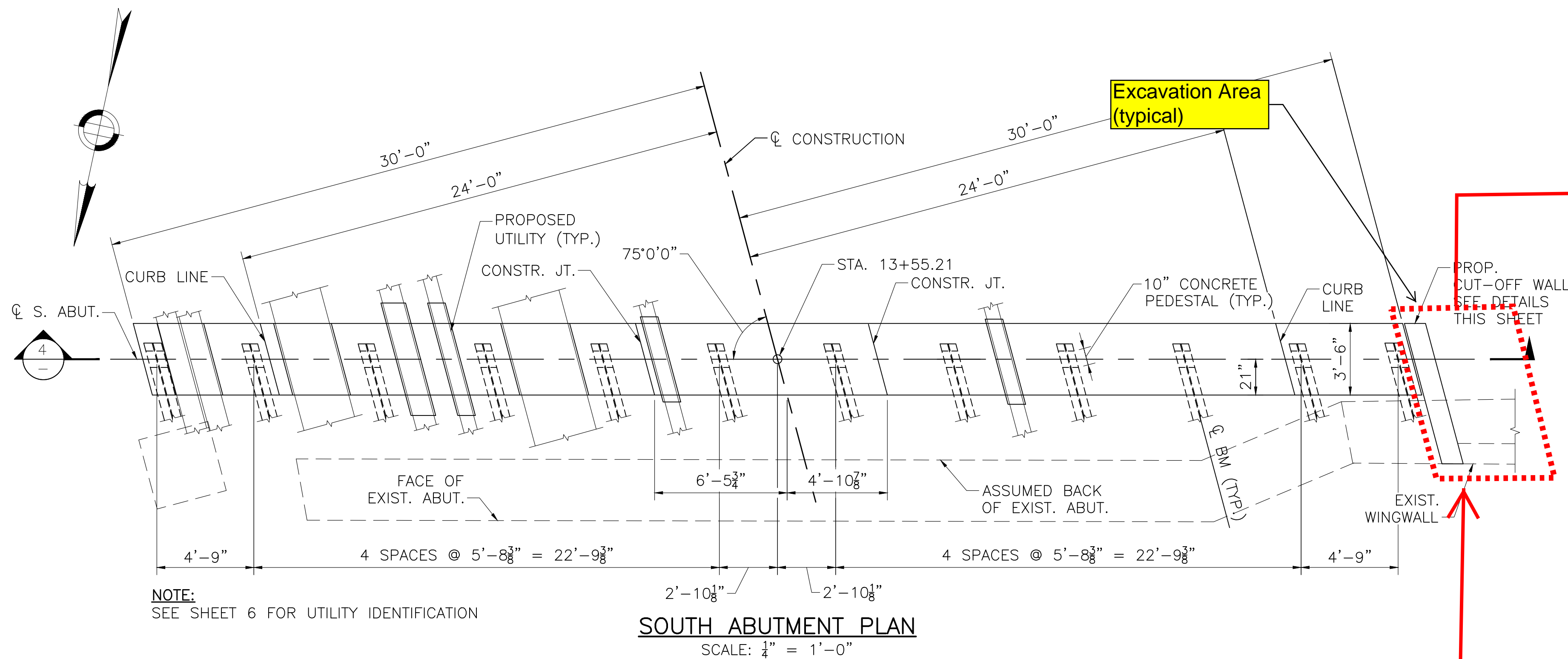
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DATE



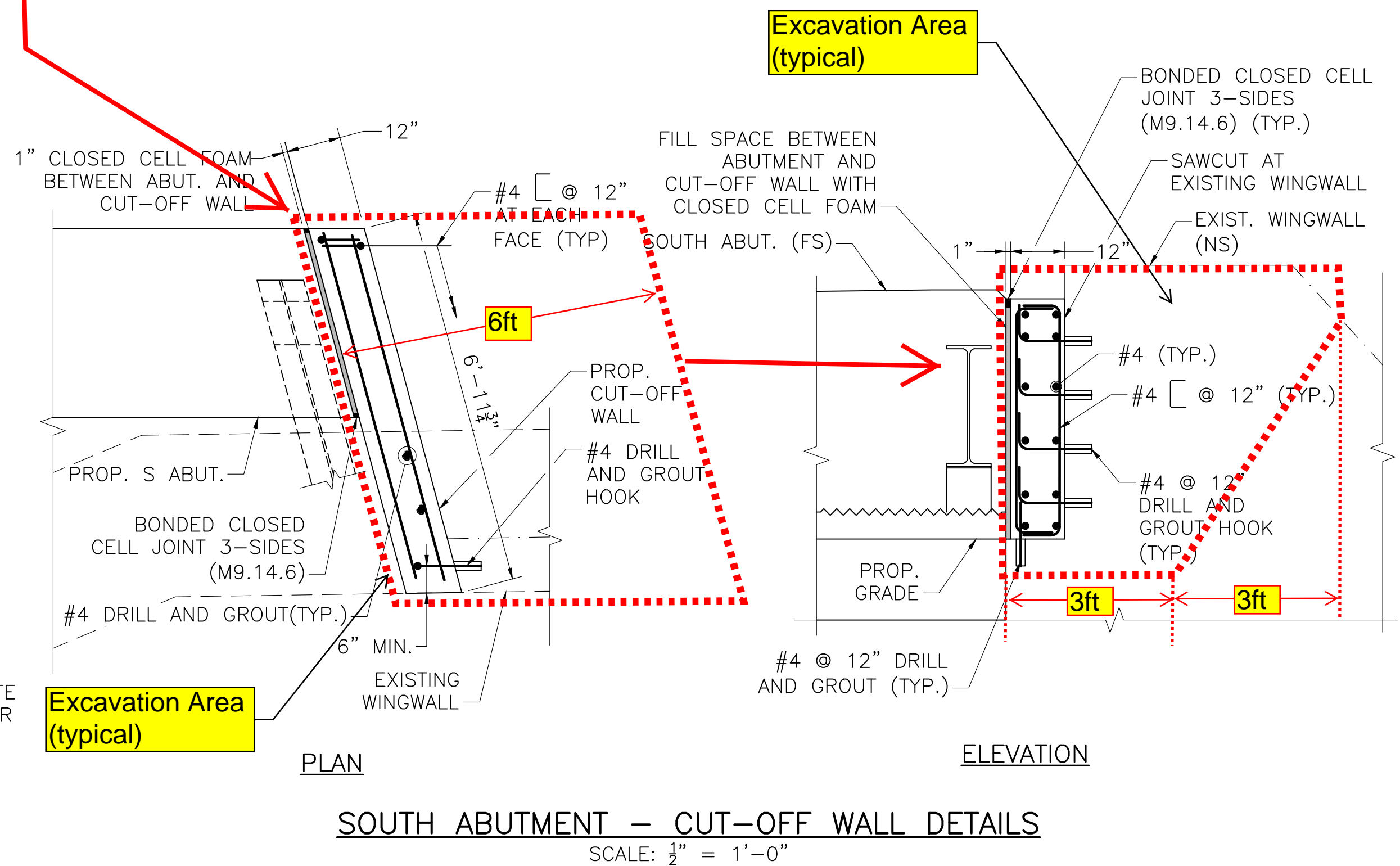
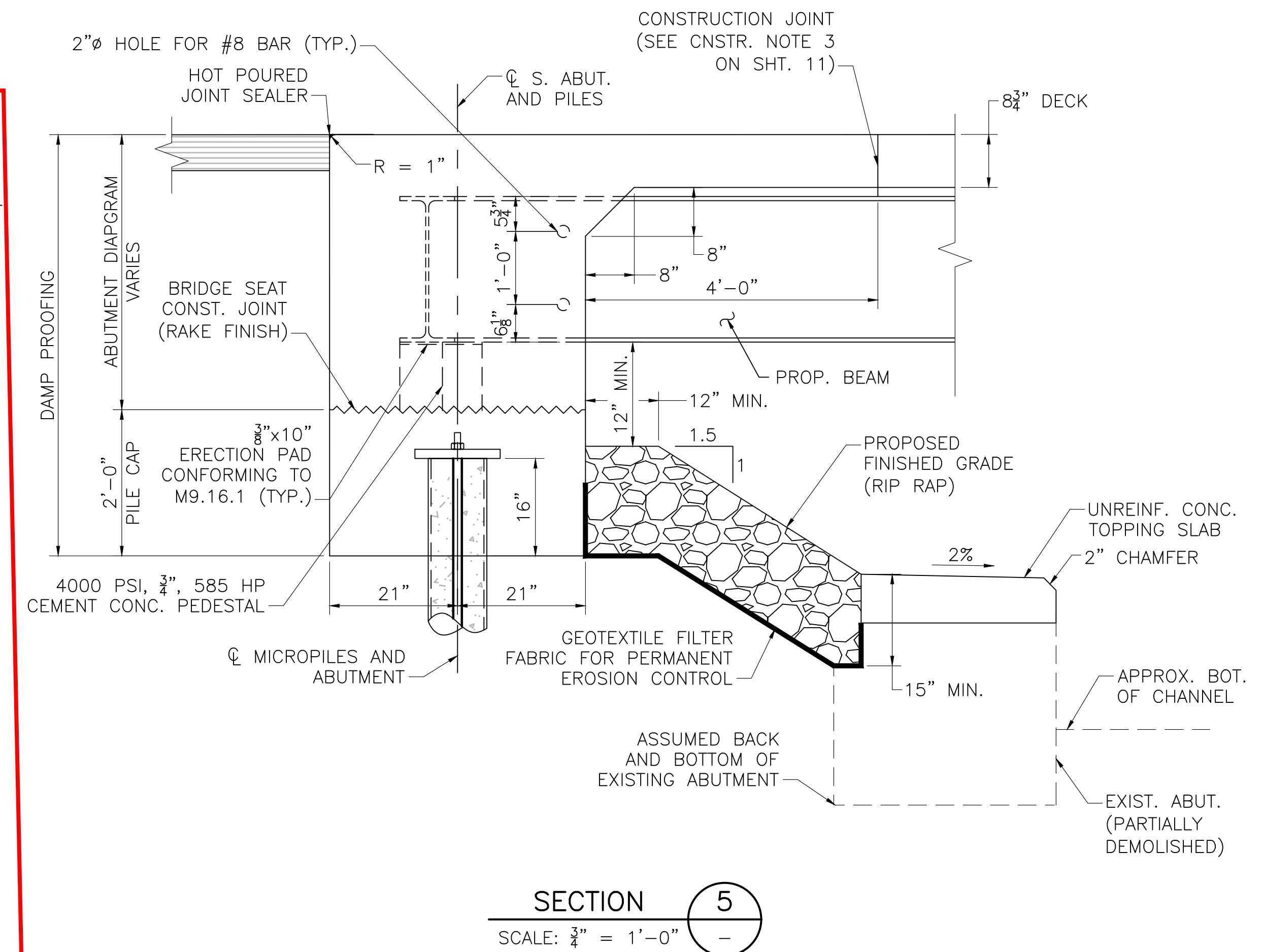
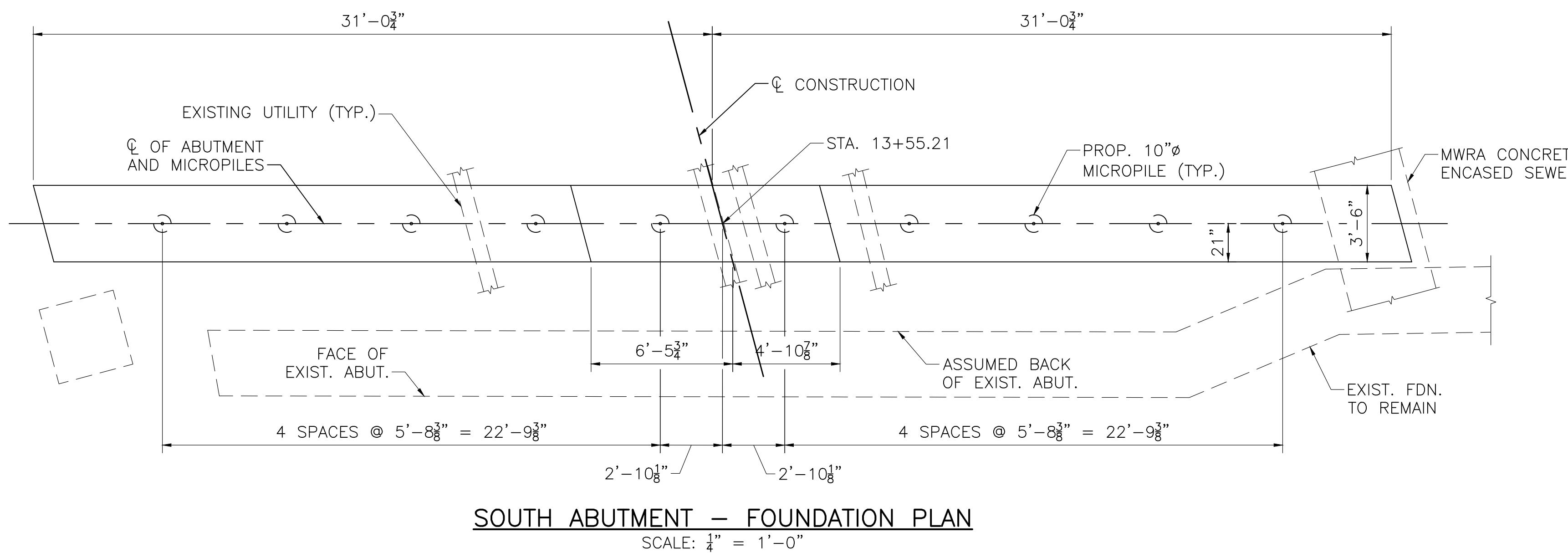






CONCRETE PEDESTAL ELEVATIONS					
BEAM 1	BEAM 2	BEAM 3	BEAM 4	BEAM 5	BEAM 6
13.17	12.87	12.99	13.11	13.23	13.36
BEAM 7	BEAM 8	BEAM 9	BEAM 10	BEAM 11	BEAM 12
13.36	13.26	13.15	13.04	12.94	13.26

NOTE: ELEVATIONS DO NOT INCLUDE ERECTION PAD THICKNESS.



COMMONWEALTH OF MASSACHUSETTS  
MassDOT, Highway Division  
APPROVED UNDER PROVISIONS OF  
MASS. GEN. LAWS CH 85 S 35  
8/1/2022  
DATE

63 KENDRICK STREET  
NEEDHAM, MA 02494  
781-355-7100  
781-355-7101 (FAX)

**GILL**  
ENGINEERING

DATE 07/07/2022  
DRW BY FB  
CALC BY FB  
APPROV BY AMS  
ISSUED FOR CONSTRUCTION  
DESCRIPTION  
REGISTERED PROFESSIONAL ENGINEER  
DATE



BRIDGE REPLACEMENT  
TOWN OF ARLINGTON  
PROPOSED BRIDGE REPLACEMENT  
A-10-015 (C10)  
US3 (MYSTIC STREET) OVER MILL BROOK

SOUTH  
ABUTMENT

SHEET 9 OF  
25





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## **Town of Arlington, Massachusetts**

### **Request for Determination of Applicability: 106-108 Varnum Street (Continuation)**

#### **Summary:**

Request for Determination of Applicability: 106-108 Varnum Street (Continuation)

Documents: 106-108 Varnum St RDA Submission Package, Opposition Letter

The Commission is expected to continue this hearing to the February 2, 2023 meeting. This public hearing will consider a Request for Determination of Applicability to pave a parking area in the rear of 106-108 Varnum Street within Bordering Land Subject to Flooding (Zone AE).